



## Community Development Department

18400 Murdock Circle, Port Charlotte, FL 33948  
Building Phone: 941.743.1201 | Building Fax: 941.764.4907  
Zoning Phone: 941.743.1964 | Zoning Fax: 941.743.1598  
BuildingSvcs@CharlotteCountyFL.gov  
www.CharlotteCountyFL.gov

For Office Use Only

Permit Number

20 \_\_\_\_\_

Application Date

CSR Initials \_\_\_\_\_

### ONE AND TWO FAMILY DWELLING DATA SUMMARY SHEET

Florida Building Code 7th Edition (2020)

OWNER'S NAME: D. R. Horton, Inc CONTRACTOR'S NAME: D. R. Horton, Inc

PROJECT ADDRESS: 12043 BACCHUS ROAD PORT CHARLOTTE, FL 33981

Number & Street

City,

State,

& Zipcode

**Applicable Codes: Building, Mechanical, Plumbing, Accessibility, & Energy Codes - 7th Edition (2020) Florida Building Code, Residential Volume. Electrical Code - NFPA 70 & NEC 2017**

#### Manufacturer's Product Approvals

Doors: See Attached Overhead Doors: See Attached Windows: See Attached

Mitered Glass: See Attached Roof Coverings: See Attached **Protection of Openings:**

Soffit: See Attached Siding: See Attached Shutters: See Attached

#### Method of Design per Florida Building Code (FBC) R301:

☒ Florida Building Code, 7th Ed (2020) ☐ ICC 600 ☐ Other: \_\_\_\_\_

Designer's Name: Structural Systems of N. Florida Inc.

#### Design Data (Risk Category II):

Basic Wind Speed (Vult) 160 mph (Figure R301.2(4))

Nominal Design Wind Speed (Vasd) 124 m.p.h. Flood Design Data N/A Final Floor Elevation See Site Plan

Exposure Category Section (R301.2.1.4) ☐ B ☒ C ☐ D Soil Design Load-Bearing Value 2000 PSF

#### Structural Forces (Section R301.4 / 301.5 / 3601.6)

Floor Design: Live Load 40 p.s.f. Dead Load Slab on Grade p.s.f.

Roof Design: Live Load 20 p.s.f. Dead Load TC=20 BC=10 p.s.f. Roof Slope 5:12

#### Window and Door Wind Pressure Design Loading:

Mean roof height 15 ft

Windows +33.5/-44.8 p.s.f. Doors +33.5/-44.8 p.s.f. Garage Doors +29.4/-33.3 p.s.f.

#### Components and Cladding Design Pressures: hip roof

Zone 1: 24.9/-44.8 p.s.f. Zone 2: +24.9/-61.7 p.s.f. Zone 3: +24.9/-61.7 p.s.f. Zone 4: 33.5/-36.3 p.s.f. Zone 5: 33.5/-44.8 p.s.f.

#### Area Tabulation: TOTAL (Sq. Ft.): 1,900

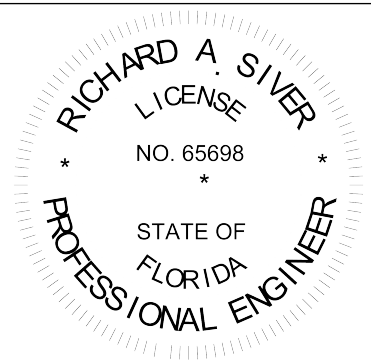
Living (Sq. Ft.) 1,499 Garage (Sq. Ft.) 385 Lanai (Sq. Ft.) \_\_\_\_\_

Entry (Sq. Ft.) 16 Storage (Sq. Ft.) \_\_\_\_\_ Other (Sq. Ft.) \_\_\_\_\_

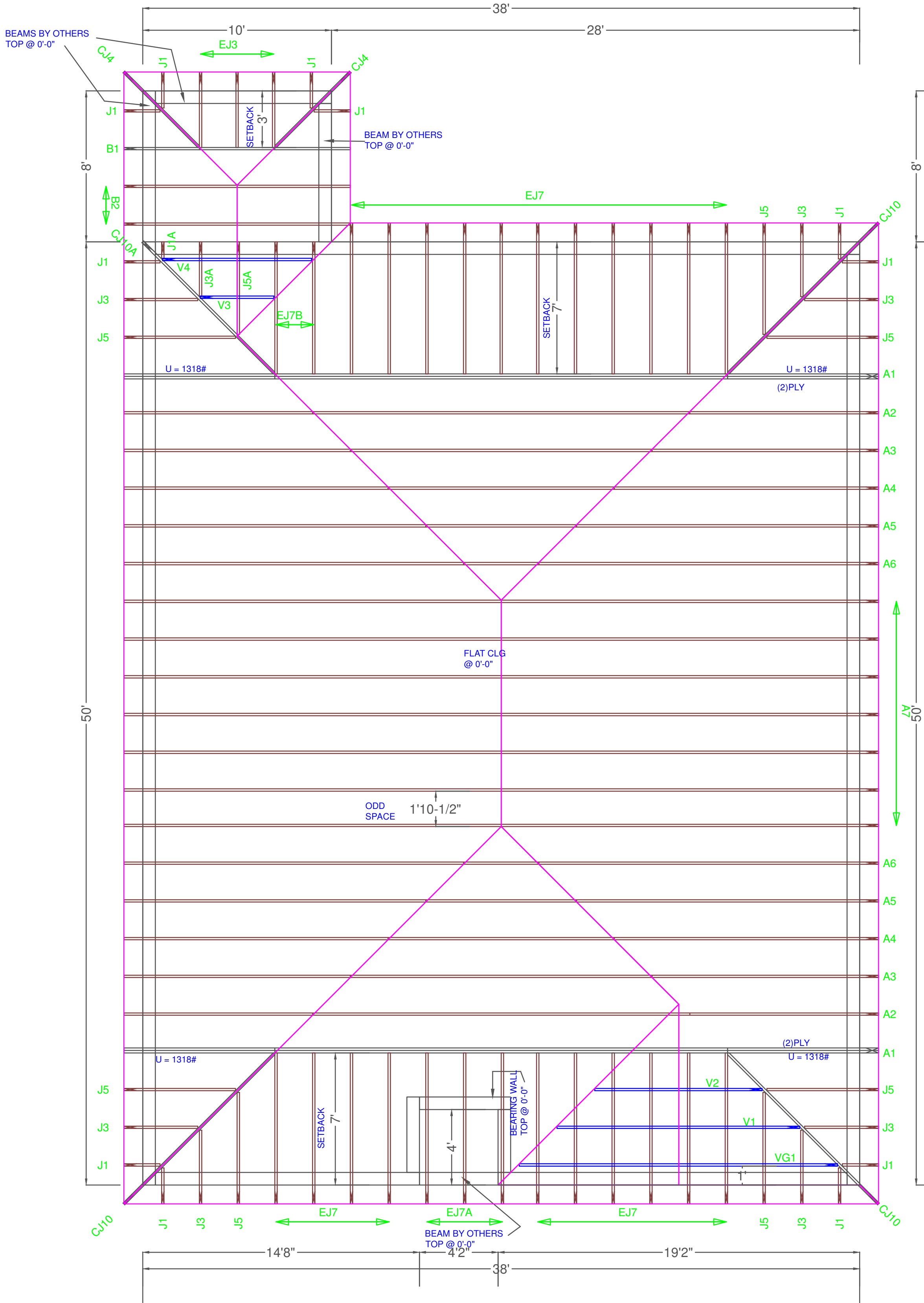
I certify to the best of my knowledge and belief that these plans and specifications have been designed to comply with the structural portion of the Building Code for wind, flood and gravity loads as amended and enforced by the permitting jurisdiction.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

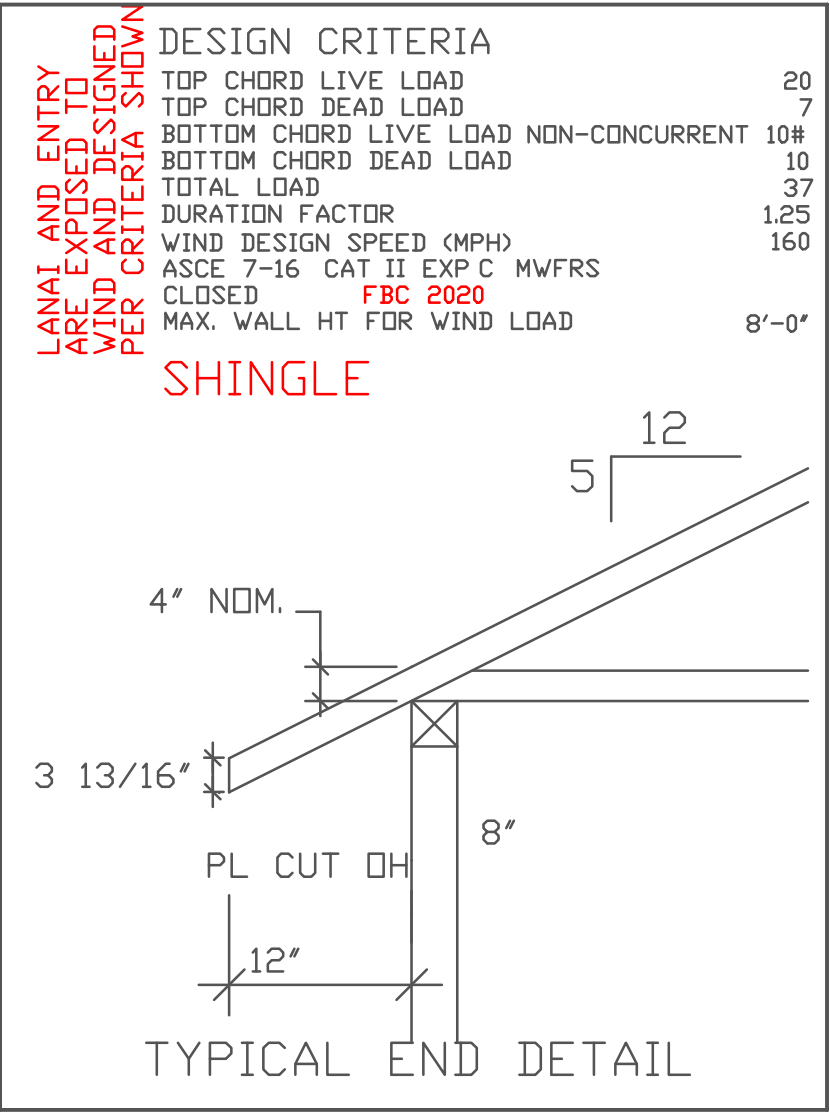
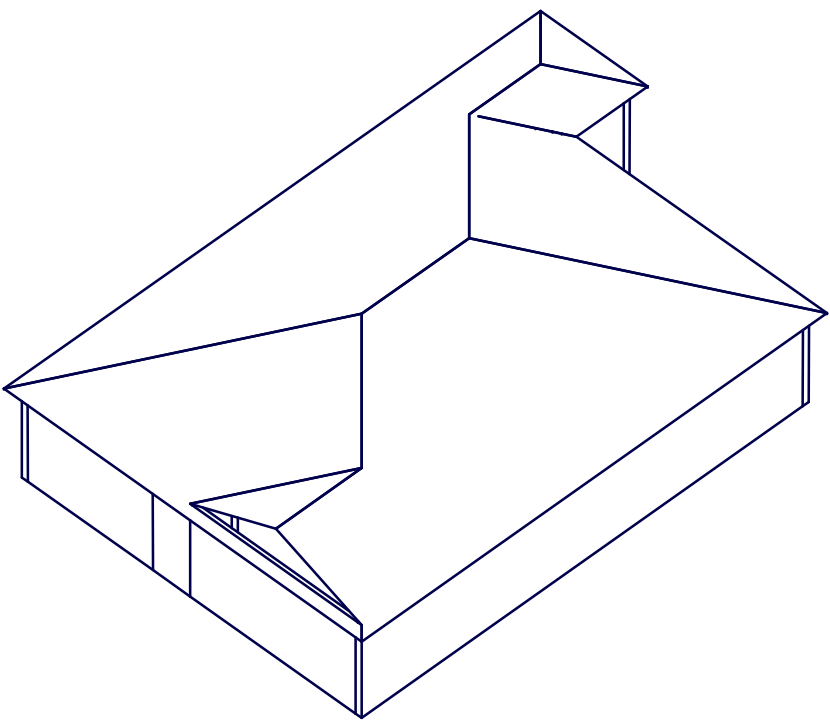
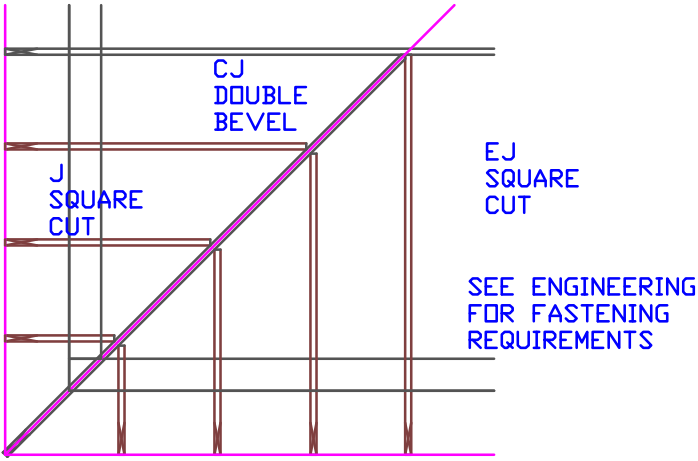
Designer's Printed Name: \_\_\_\_\_



Architect / Engineer Seal



TYPICAL JACK CUTS



REACTION VALUES ARE UNDER 5000#  
UPLIFT VALUES ARE UNDER 1000#

ALL TRUSSES 24"o.c. UNLESS NOTED OTHERWISE  
DO NOT ATTEMPT TO ERECT TRUSSES WITHOUT REFERRING TO THE ENGINEERING DWGS.  
IT IS NECESSARY TO REFER TO THE ENGINEERING DRAWINGS FOR NUMBER OF MEMBERS, BEARING LOCATION, ORIENTATION AND WEB BRACING

REFER TO WTCA/TPI BSCI-B1 SUMMARY SHEET FOR HANDLING METHODS & TEMPORARY BRACING, WHICH IS ALWAYS REQUIRED  
BEARING HEIGHTS BASED ON PLANS PROVIDED TO SCOSTA CORP. +/-" BEARING DIFFERENCES SHOWN ARE CRITICAL. IF ANY HEIGHTS DEVIATE - INFORM SCOSTA CORP.

BEARING WALL & BEAM HEIGHTS		
	0'-0"	ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.
		ELEV.

TYPICAL HANGER SCHEDULE

(C)	SIMPSON HUS 26	(M)	SIMPSON HGUS 28-3
(F)	SIMPSON HUS 28	(N)	SIMPSON HHUS 48
(H)	SIMPSON HGUS 28	(P)	SIMPSON LUS 24
(I)	SIMPSON HGUS 28-2	(B)	SIMPSON THA 422
(W)	SIMPSON THJA26	(X)	

HANGER VALUES HAVE BEEN BASED ON 16D COMMON NAILS EXCEPT THE FOLLOWING  
LUS24 - 10D COMMON THJA26 - 10D x 1-1/2

APPROVAL OF THIS TRUSS LAYOUT IS NECESSARY BEFORE FABRICATION CAN BEGIN. VERIFY DIMENSIONS, PITCHES, OVERHANGS, ELEVATIONS, CEILING & BEARING CONDITIONS. SCOSTA CORPORATION IS RESPONSIBLE FOR ACCURACY IN ACCORDANCE WITH PLANS AND/OR INFORMATION PROVIDED BY CUSTOMER, WITH ANY DEVIATIONS NOTED HEREIN. CUSTOMER IS RESPONSIBLE TO VERIFY ACCURACY OF INFORMATION AND PLANS PROVIDED TO SCOSTA CORPORATION, AND TO VERIFY CONFORMANCE TO FIELD CONDITIONS, AND/OR OWNER CHANGES. TRUSSES WILL BE BUILT IN ACCORDANCE WITH THE APPROVED LAYOUT.

APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_ REQUESTED DELIVERY DATE: \_\_\_\_\_  
JOBSITE CONTACT NAME: \_\_\_\_\_  
PHONE #: \_\_\_\_\_  
E-MAIL: \_\_\_\_\_

SCOSTA CORP.

WOOD, STEEL OR TIMBER  
ROOF & FLOOR TRUSSES

3670 COMMERCE CENTER DRIVE  
SEBRING, FL 33870  
(863) 385-8242

SCALE: 1/4"=1'-0"  
JOB ADDRESS: 1499 A W/ LANAI  
GARAGE RIGHT LEE  
CUSTOMER: D.R. HORTON

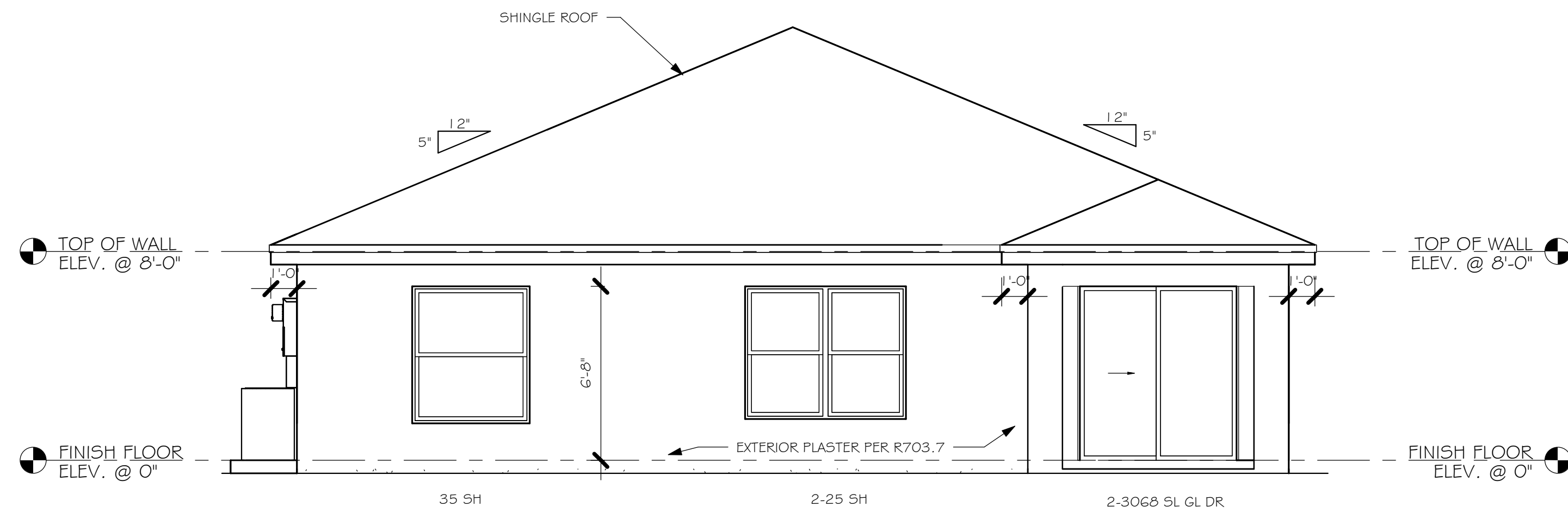
DATE: 11/30/20  
REVISED BY:  
DRAWN BY: KCD  
1 OF 1  
JOB #: DR1499L

Engineer of Record for the Structure  
Structural Systems of N. Fl, Inc.  
Richard Silver, PE 65698  
1072 Coe Landing Road  
Tallahassee, FL 32310

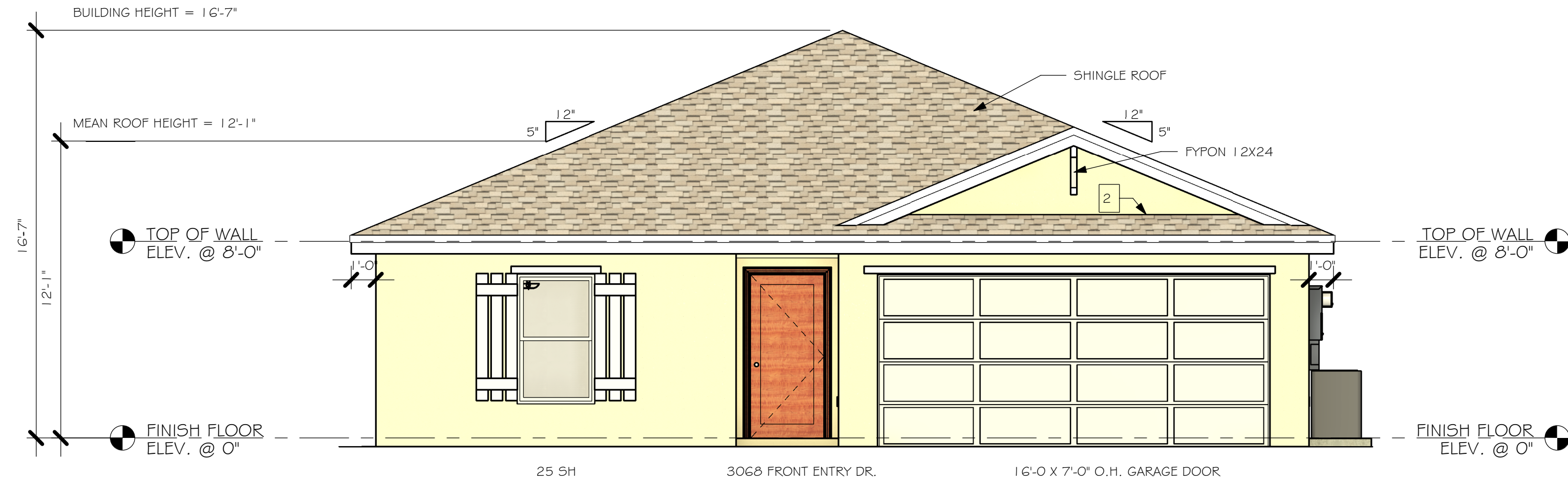
This document has been reviewed for conformance with the design intent of the structure and specified design criteria.

☒ Accepted As-Is ☐ Accepted As Noted ☐ Revise and Resubmit

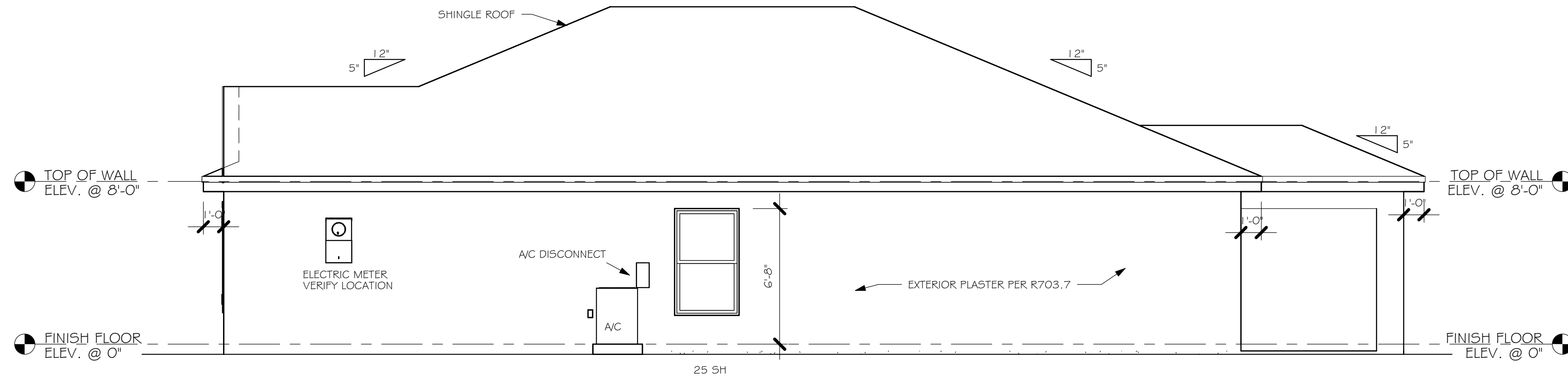
L:\O-New Data\1-MASTER 2019\2019-BUILDERS\DR HORTON 2019\SUBDIVISIONS\GULF COVE SPOT LOTS\14790 LOT 6 BLK 1921 1499 ARREV\14790 1499 AR.rvt



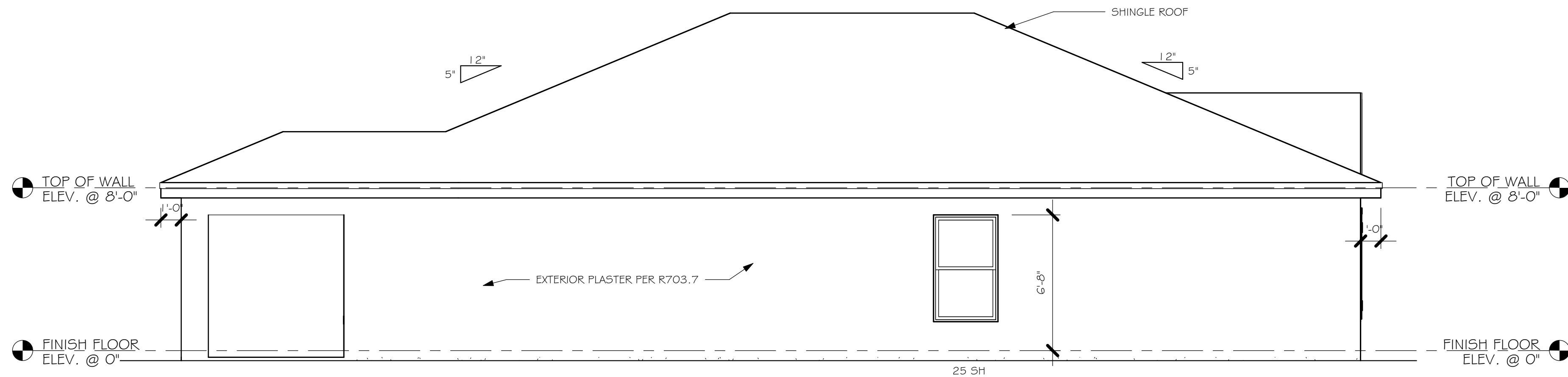
REAR ELEVATION  
1/4" = 1'-0"



FRONT ELEVATION  
1/4" = 1'-0"



RIGHT ELEVATION  
1/4" = 1'-0"



LEFT ELEVATION  
1/4" = 1'-0"

- 1 MID-WALL WEEP SCREED AT WOOD MASONRY INTERFACE. INSTALL STRICTLY PER MFG. INSTRUCTIONS
- 2 ROOF / WALL SCREED INSTALL STRICTLY PER MFG. INSTRUCTIONS

FLORIDA BUILDING CODE 7TH EDITION

OCCUPANCY: FBC 310.5 RESIDENTIAL GROUP R-3  
CONSTRUCTION TYPE: V-B (FIRE RESISTANCE RATING 0 HOURS, NOT SPRINKLED)

CODES TO BE USED BY OTHER DESIGN PROFESSIONALS AND LICENSED CONTRACTORS:  
2020 FLORIDA BUILDING CODE, 7TH EDITION: RESIDENTIAL; ACCESSIBILITY; ENERGY CONSERVATION;  
PLUMBING; MECHANICAL; AND FUEL GAS.  
ELECTRICAL IS CONTAINED BY REFERENCE WITHIN FBC RESIDENTIAL CHAPTER 34: NFPA 70-17  
NATIONAL ELECTRICAL CODE.

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2020 - 7TH EDITION



Gulf Coast  
Drafting & Design, Inc.  
EMAIL: PLANS@GULFCOASTDRAFTING.COM  
PHONE: 239-540-822  
1515 SE 47th ST. CAPE CORAL, FL 33904

LOT: 6 BLOCK: 1921  
SUBDIVISION: GULF COVE SPOT LOTS  
ADDRESS: 12043 BACCHUS ROAD  
D.R.H. #: 579500189

MODEL  
#1499 A  
GCD JOB # 14790

DATE: 08/11/23

DRAWN BY: JSL

CHECKED BY: JWC

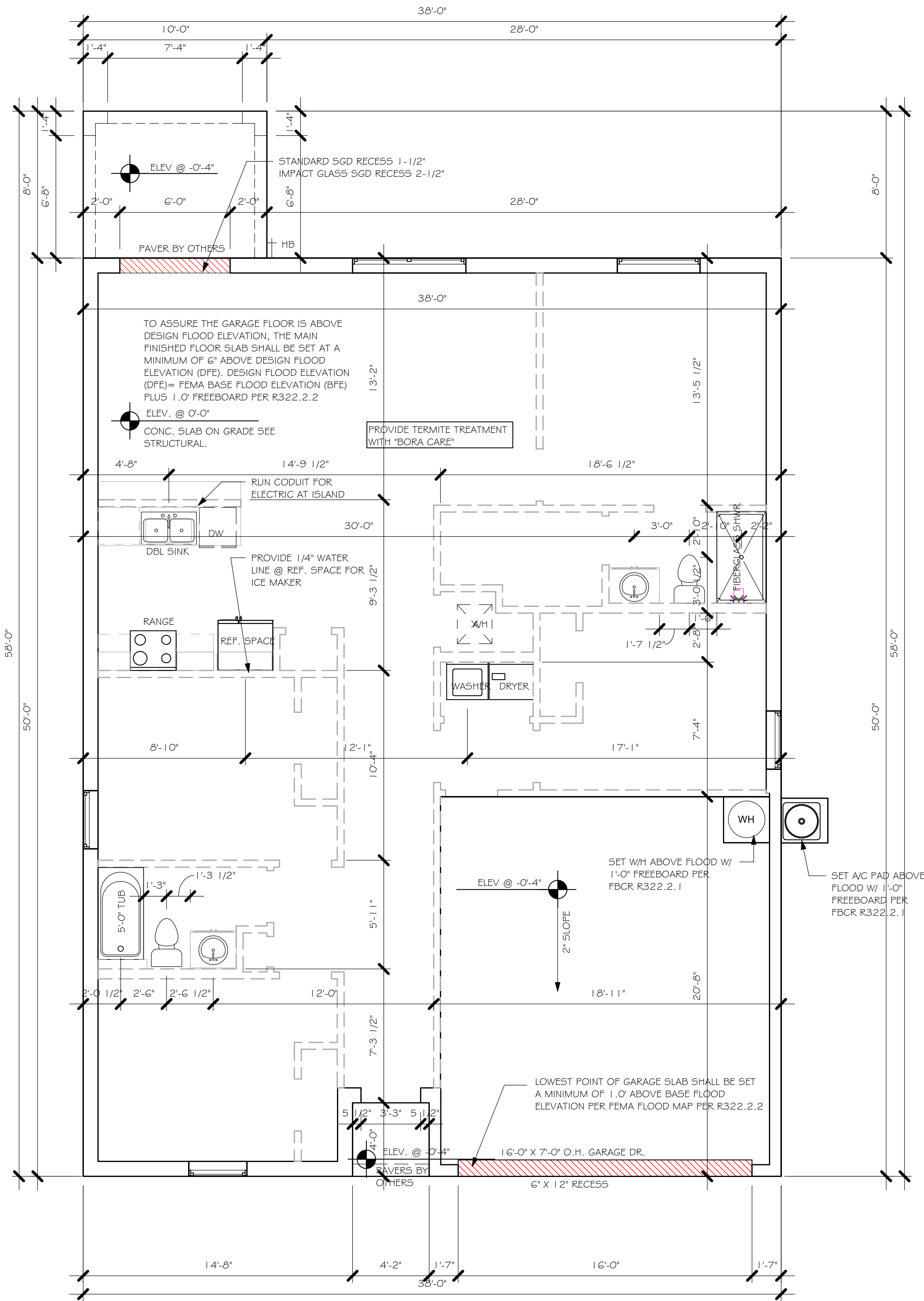
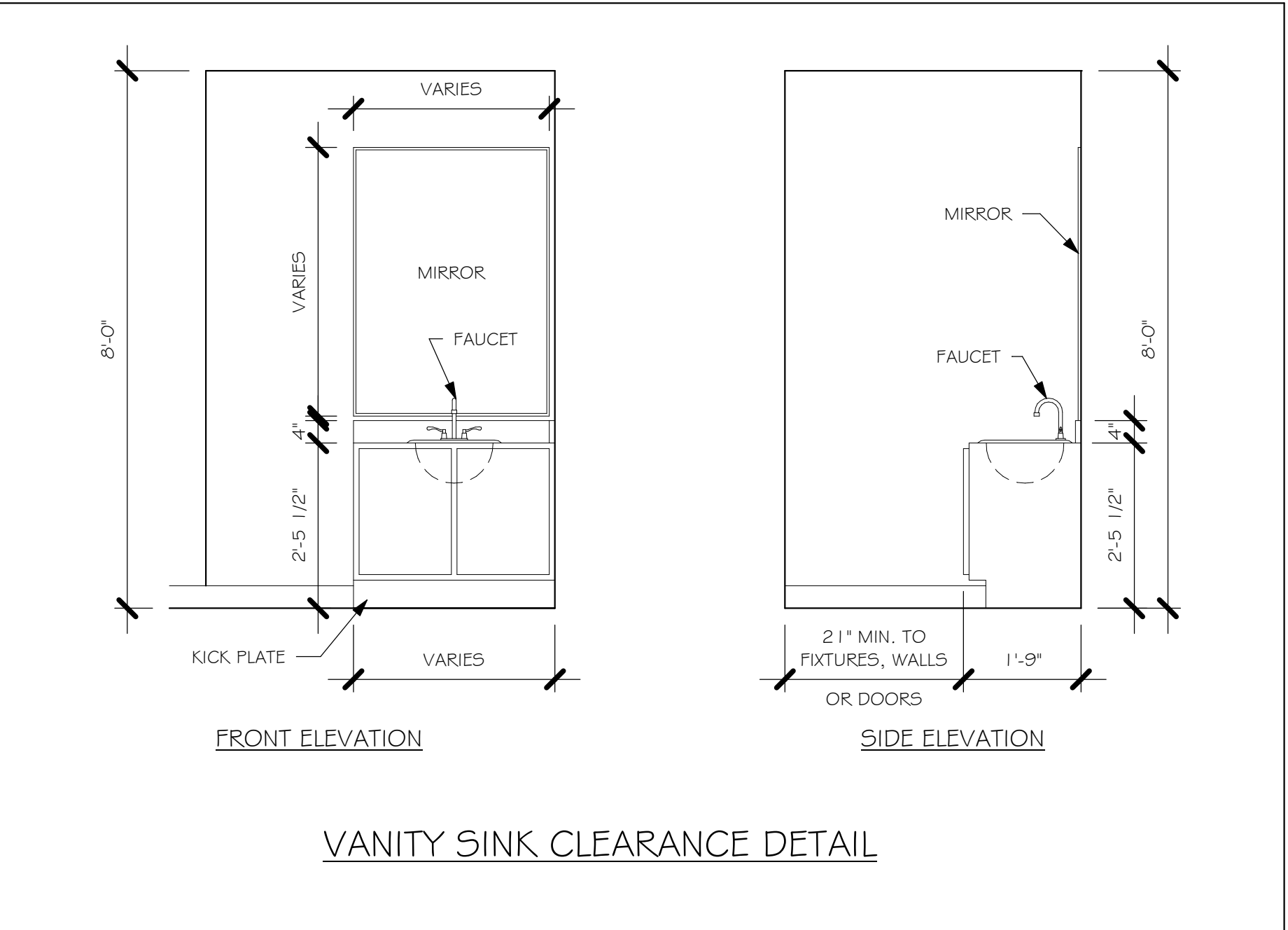
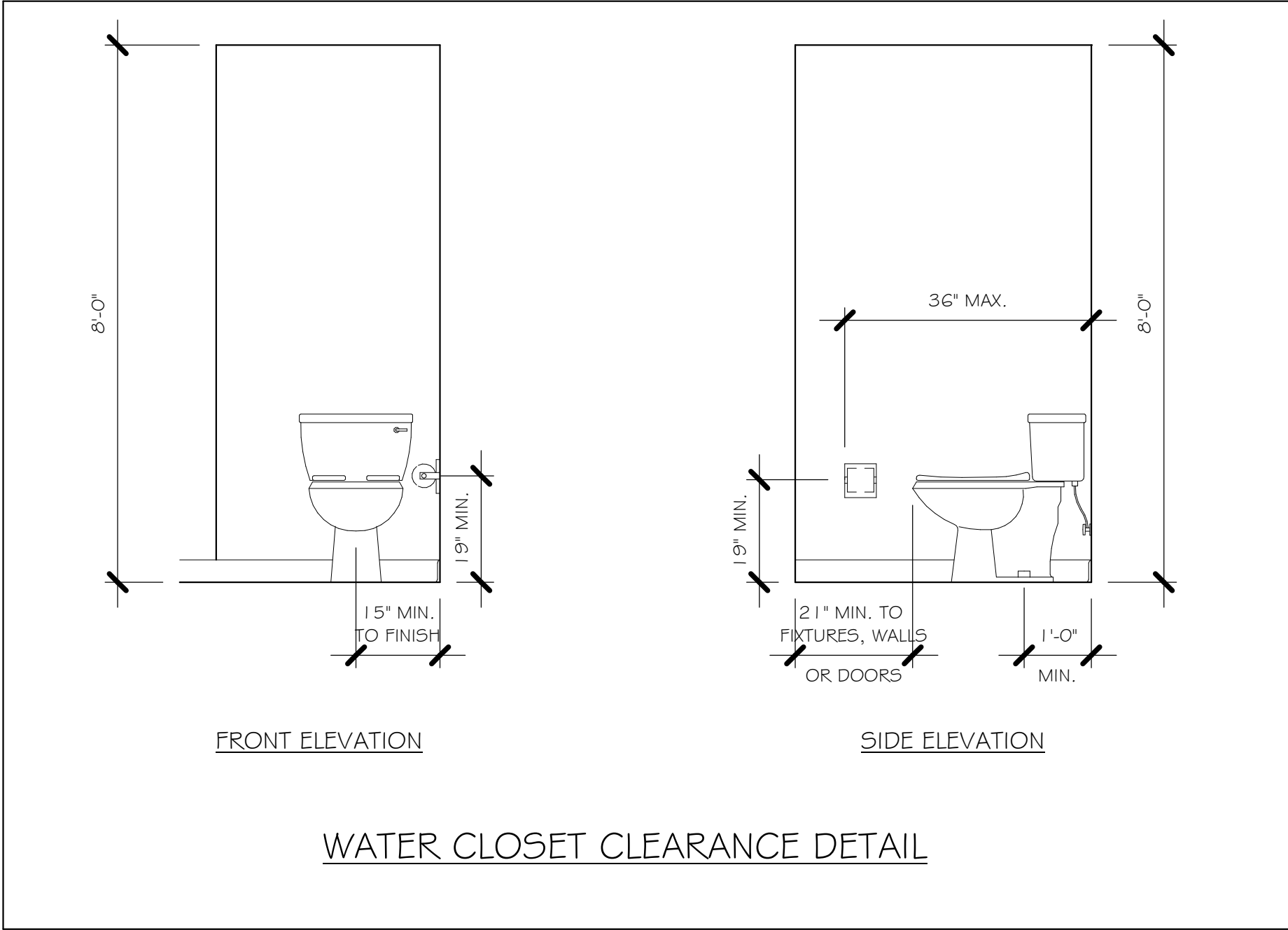
REVISED:

PLAN: ELEVATION

SCALE: As indicated

A-1





SLAB PLUMBING  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2020 - 7TH EDITION

DOOR SCHEDULE					
TYPE MARK	DESCRIPTION	MANUFACTURER	HEIGHT	WIDTH	COUNT
1	3068 ENTRY	DISTINCTION	6'-8"	3'-0"	1
2	16080 OHGD	GARAGE	7'-0"	16'-0"	1
3	2-3068 SL. GL. DR.		6'-8"	6'-0"	1

WINDOW SCHEDULE				
MARK	DESCRIPTION	HEIGHT	WIDTH	COUNT
A	2-25 SH	5'-3"	6'-4"	1
B	25 SH	5'-5"	3'-4"	3
C	35 SH	5'-5"	4'-8"	1

DOOR HEADERS		
6'-8" BI-FOLD	HEADER HEIGHT	82" A.F.F.
6'-8" SWING	HEADER HEIGHT	82 1/2" A.F.F.
8'-0" SWING	HEADER HEIGHT	98 1/2" A.F.F.

PLAN NOTES	
1)	VERIFY ALL ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS
2)	PROVIDE SAFETY GLAZING WITHIN 24" FROM EXIT PER FLORIDA BUILDING CODE R 308.4.2.
3)	PROVIDE SAFETY GLAZING AT BATH/ SHOWER PER FLORIDA BUILDING CODE R 308.4.5.
4)	NON BEARING INTERIOR FRAME WALLS SHALL BE FRAMED W/ WOOD OR METAL STUDS. SPACING SHALL NOT EXCEED 24" O.C. (NON BEARING WALLS ONLY)
5)	PROVIDE DEAD WOOD IN ATTIC FOR OVERHEAD GARAGE DOOR HARDWARE
6)	KITCHEN KNEE WALL TO BE FRAMED W/ TOP @ 34 1/2" A.F.F.
7)	INSTALL SMOOTH WALLS IN KITCHEN AND ALL BATHROOM AREAS
8)	WHERE DRYWALL CEILING IS APPLIED TO TRUSSES @ 24" O.C. USE 5/8" DRYWALL OR 1/2" 5/8" RESISTANT PER SEC. R702.3.5
9)	THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ATTIC BY NOT LESS THEN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED WITH NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR - CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSOM BOARD OR EQUIVALENT
10)	INSTALL 1-3/8" THICK SOLID WOOD DOOR BETWEEN LIVING AND GARAGE PER FLORIDA BUILDING CODE R302.5.1.
11)	ALL WINDOWS INSTALLED 7/2" ABOVE GRADE MUST COMPLY WITH R612.2 MIN 24" SILL HEIGHT OR PROVIDED WITH AN APPROVED WINDOW FALL PRVENTION DEVICE
12)	ALL CLOSET SHELVES TO BE 12". ALL PANTRY & LINEN TO BE (4)-16" SHELVES 18" O.F.F. W/ 15" INCREMENT.
13)	ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE INSTALLED AT OR ABOVE FLOOD PLUS 1'-0" FREEBOARD.

INTERIOR DOOR SCHEDULE		
MARK	DOOR WIDTH	NOTES
1	3'-0"	P.K. = POCKET DOOR
2	2'-8"	B.F. = BI-FOLD DOOR
3	2'-6"	B.P. = BI-PASS DOOR
4	2'-4"	
5	2'-0"	L.V. = LOUVERED DOOR
6	1'-8"	
7	1'-6"	
8	2'-11"	

SQUARE FOOTAGE	
LIVING AREA	1499
GARAGE AREA	385
LANAI AREA	80
FRONT PORCH/ ENTRY AREA	16
TOTAL SQUARE FOOTAGE	1,980

BATHROOM NOTES	
TB TOWEL BAR	ALL TUB DECKS @ 21" A.F.F
TP TOILET PAPER	ALL BLOCKING TO BE PT IN SHOWERS

3'-2"

TOWEL BAR

4'-0"

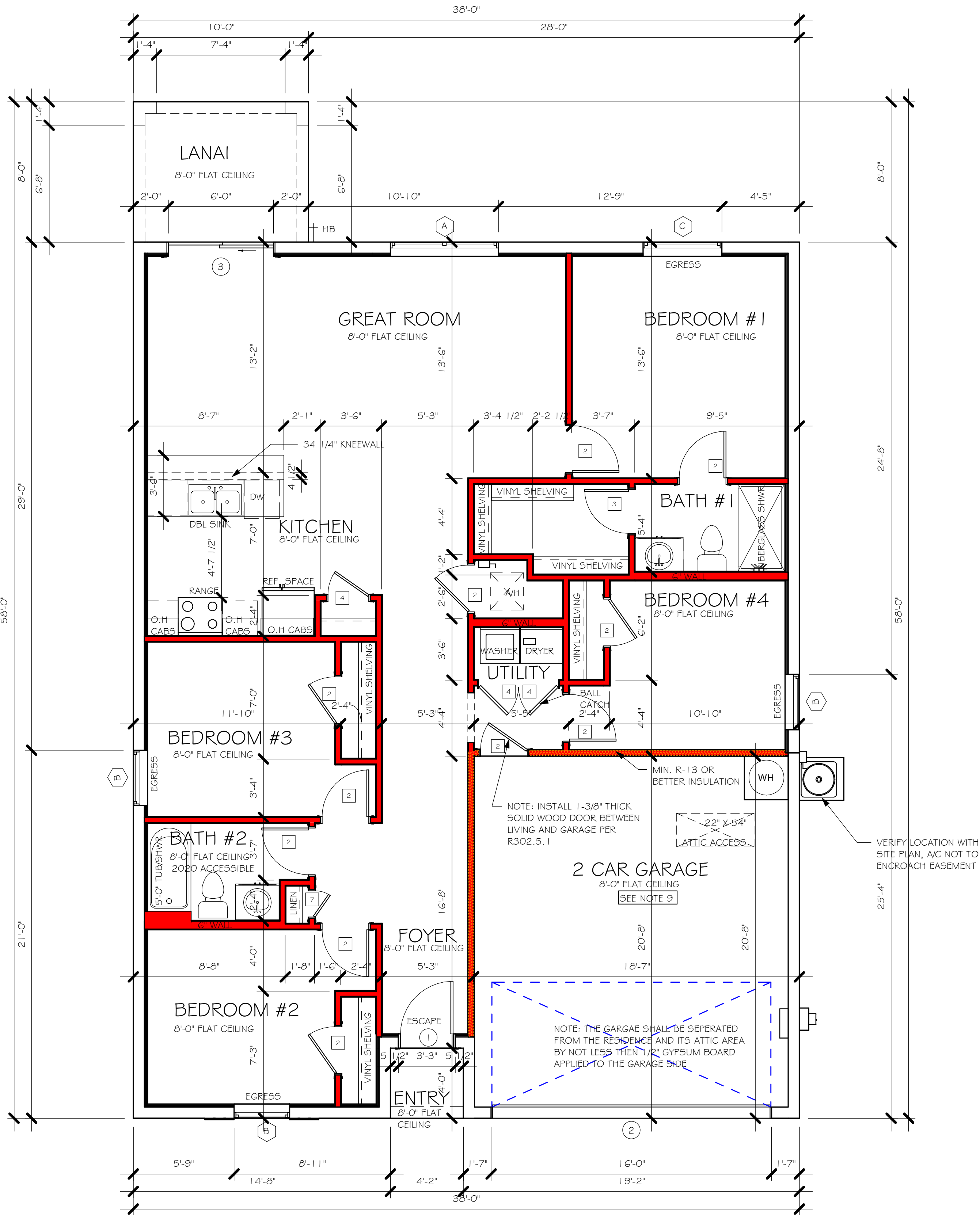
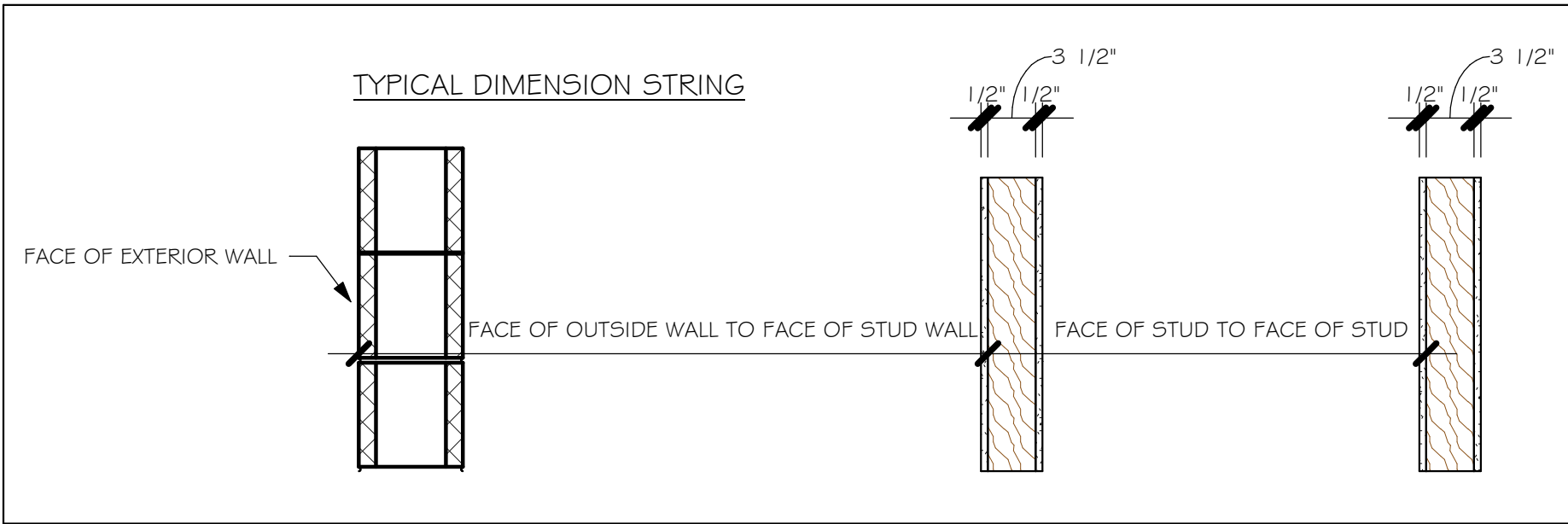
TOILET PAPER ROLL

2'-6"

1'-5"

MIN MIN

CABINET BACKING			
KITCHEN	UPPER TOP @ 84"	BASE TOP @ 35"	
MASTER BATH	UPPER	BASE TOP @ 35"	
GUEST BATH	UPPER	BASE TOP @ 31"	
LAUNDRY ROOM	UPPER TOP @ 84"	BASE	



FLOOR PLAN  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2020 - 7TH EDITION



Gulf Coast  
Drafting & Design, Inc.  
EMAIL: PLANS@GULFCOASTDRAFTING.COM  
PHONE: 239-540-822  
1515 SE 47th ST. CAPE CORAL, FL 33904

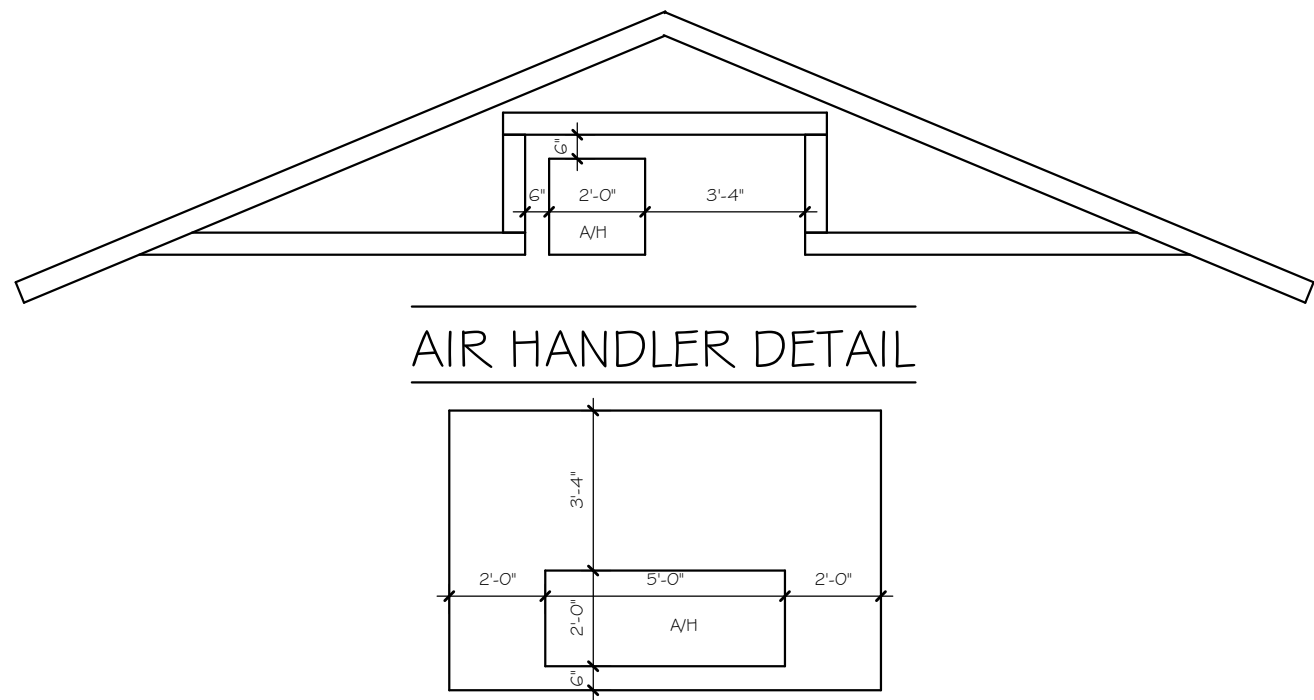
LOT: 6  
BLOCK: 192 I  
SUBDIVISION: GULF COVE SPOT LOTS  
ADDRESS: 1 2043 BACCHUS ROAD  
D.R.H. #: 579500189

MODEL  
# 1499 A  
GCD JOB # 14790

DATE: 08/11/23  
DRAWN BY: JSL  
CHECKED BY: JWC  
REVISED:  
PLAN: FLOOR  
SCALE: As indicated



L:\O-New Data\1-MASTER 2019\2019-BUILDERS\DK HORTON 2019\SUBDIVISIONS\GULF COVE SPOT LOTS\14790 LOT 6 BLK 1921 1499 ARREV\14790 1499 AR.vrt



## MODEL 1499 A: ATTIC VENTILATION FBCR R806

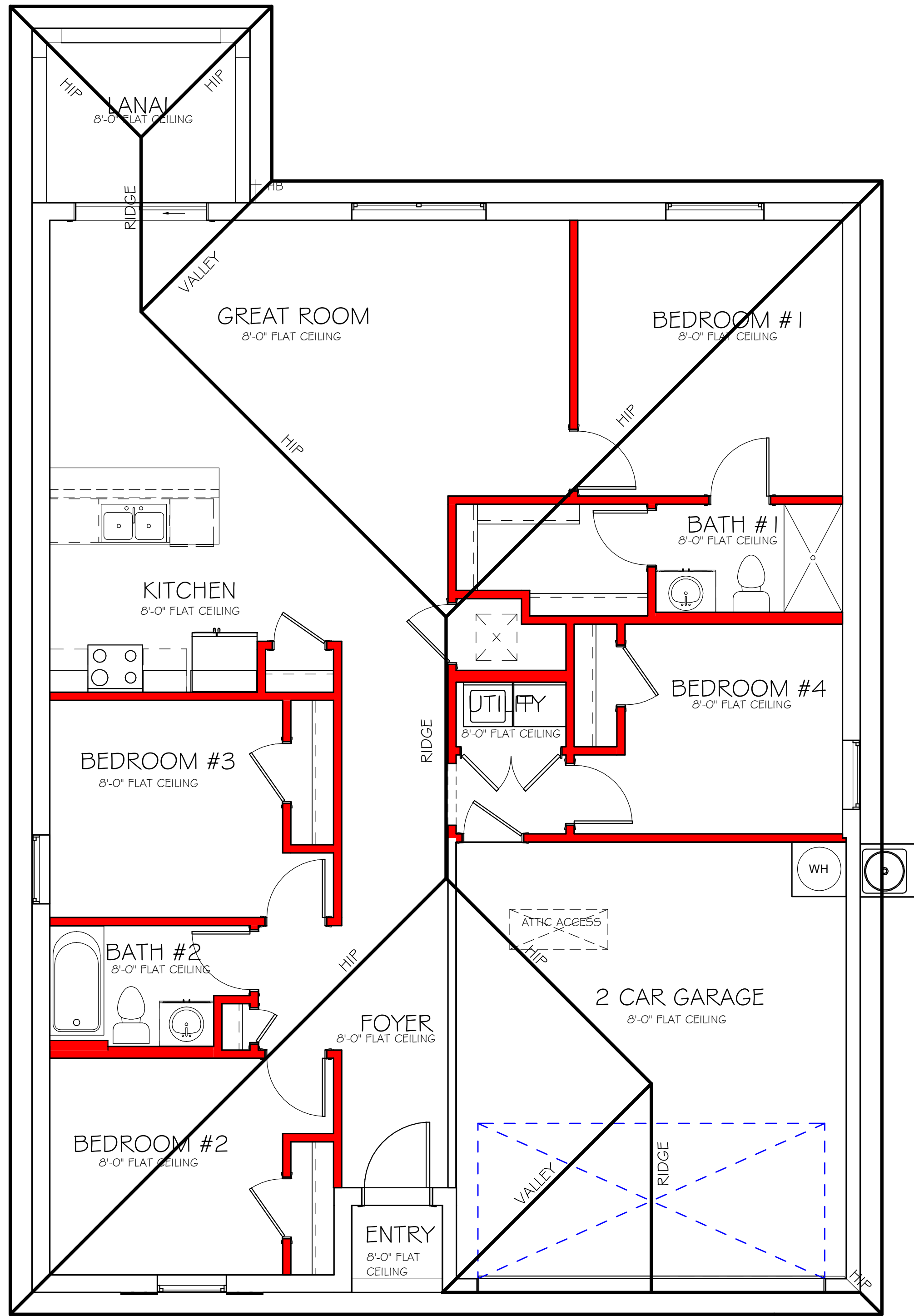
COORDINATE VENTING REQUIREMENTS WITH ENERGY CALCULATIONS

AREAS (SQ. FT.)			SOFFIT ONLY (1/150) (NO ROOF VENTS)			WITH ROOF VENTS (1/300) (R.V.)		
ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED			ATTIC VENTILATION REQUIRED		
MARK	ATTIC	SOFFIT	ATTIC AREA/150	REQD AIR FLOW OF SOFFIT	QUAD 4 SOFFIT HAS	ATTIC AREA/300	QUANTITY OF ROOF VENTS	MIN AIR FLOW OF SOFFIT
1st STORY	2080.0 SQ. FT.	180.0 SQ. FT.	13.87 SQ. FT.	7.71%	8.15%	7.93 SQ. FT.	1	7.93%
"SOFFIT ONLY" QUALIFIES			SOFFIT MODEL			ROOF VENT MODEL		
			ACM QUAD 4, FULL VENT, NARROW PATTERN, 8.15% FREE AIR FLOW			32" BASE		
			THE ACM QUAD 4 IS ONLY AN EXAMPLE OF WHAT CAN WORK. CONTRACTOR MAY INSTALL ANY BRAND OF VENTED SOFFIT THAT PROVIDES AT LEAST THE REQD AIR FLOW SHOWN ABOVE, AND MEETS WIND PRESSURES PER FBC R704.			22.3/6" BASE		
						LOMANCO 770-D 0.97 SQ. FT. FREE AIR		

### WALL HEIGHT



= WALL @ 8'-0"



### ROOF PLAN

1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2020 - 7TH EDITION



LOT: 6	BLOCK: 1921
SUBDIVISION: GULF COVE SPOT LOTS	
ADDRESS: 12043 BACCHUS ROAD	
D.R.H. #: 579500189	

MODEL #1499 A	GCD JOB # 14790
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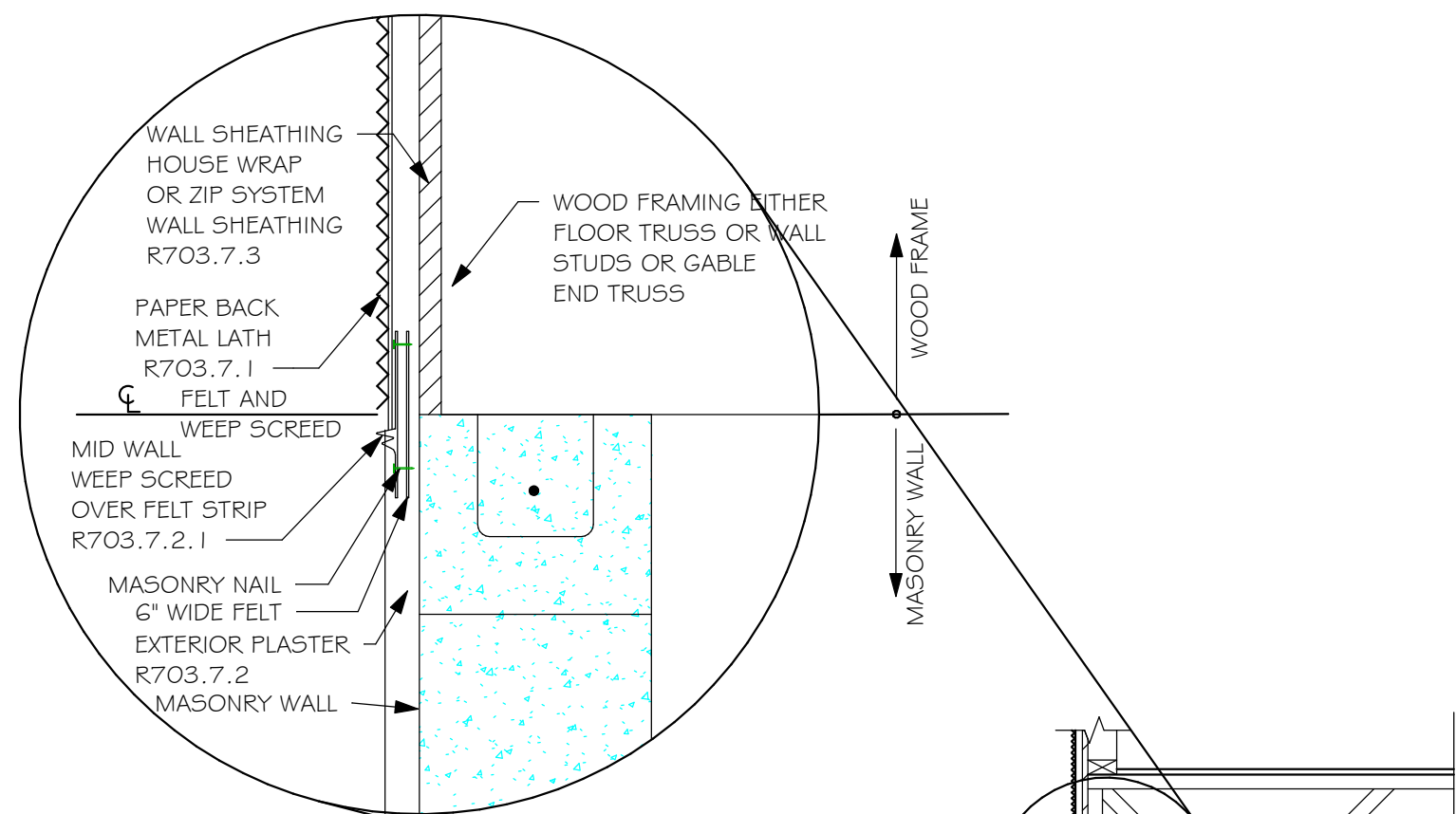
DATE:	08/11/23
DRAWN BY:	JSL
CHECKED BY:	JWC
REVISED:	
PLAN:	ROOF
SCALE:	As indicated

A-4

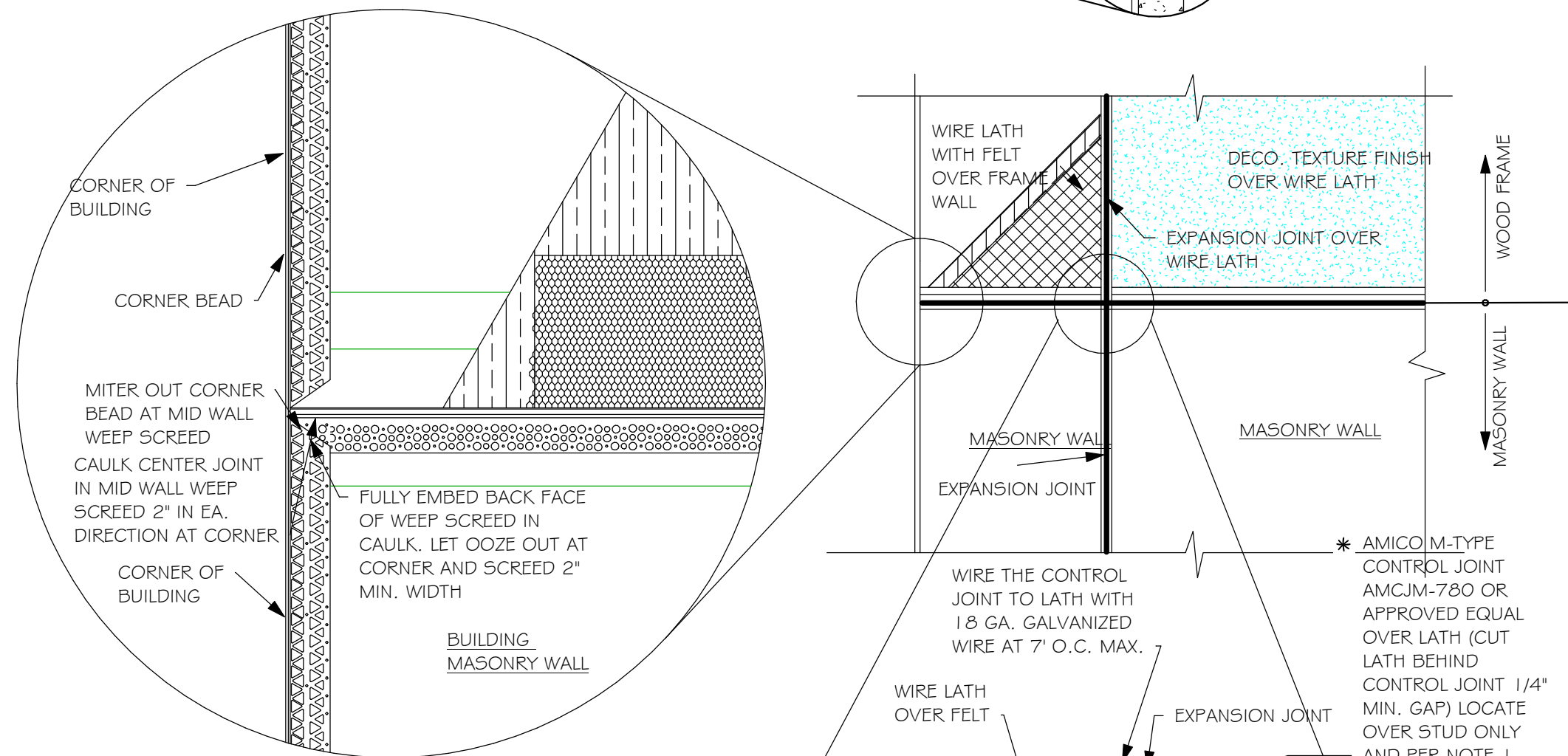




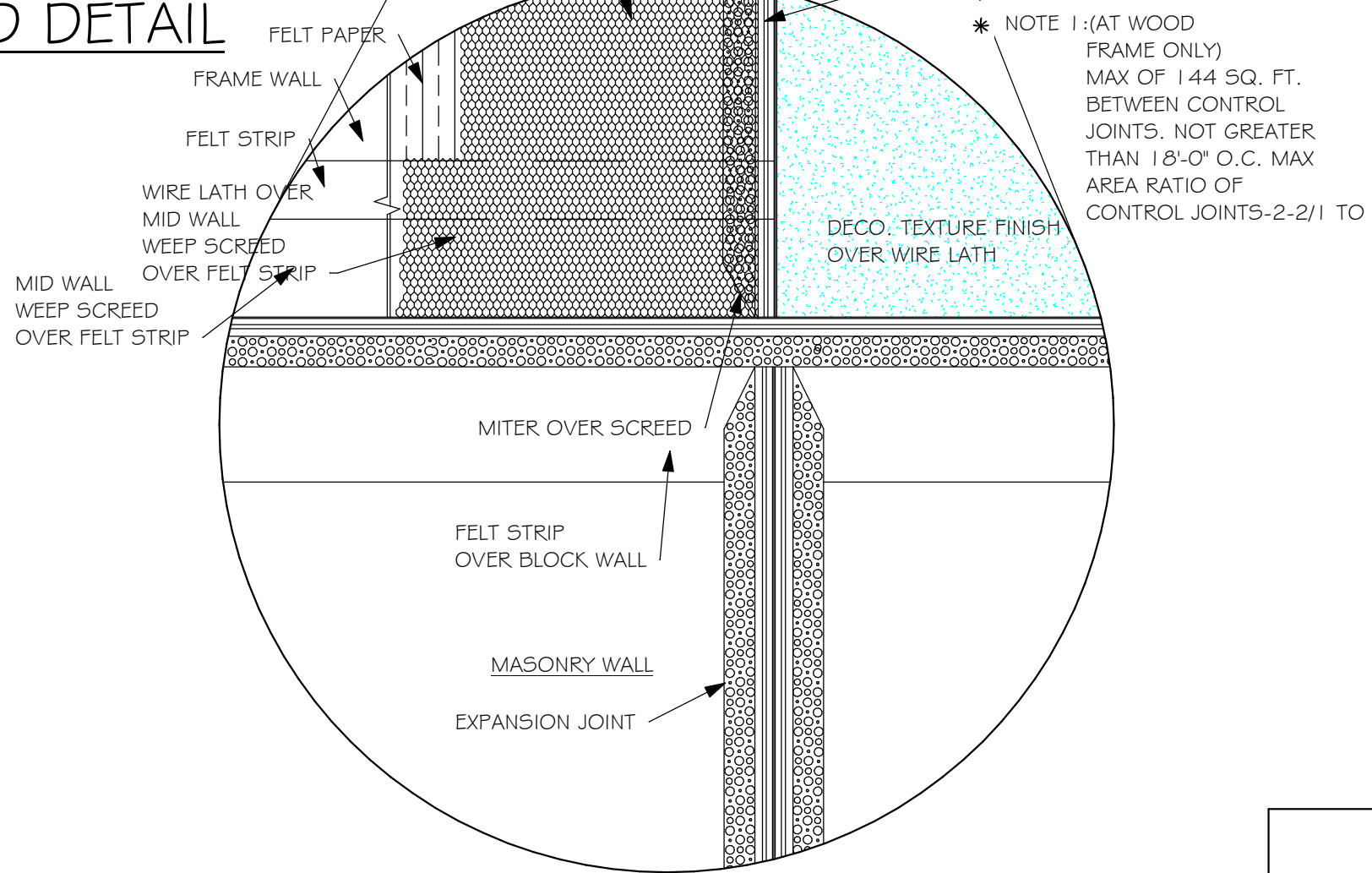
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R703.7 EXTERIOR PLASTER  
ASTM C926 AND ASTM C1063



MID WALL WEEP SCREED DETAIL



WEEP SCREED DETAIL  
INSTALL AT ALL EXTERIOR WALL LOCATIONS WHERE WOOD STUD FRAMING IS ABOVE MASONRY WALLS.

## RESIDENTIAL SPECIFICATIONS

### GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
2. THE CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
3. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
4. FOR REQUIRED SOIL BEARING, SEE STRUCTURAL. THE CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE DESIGNER PRIOR TO COMMENCING WORK.
5. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATION AND HOUSE PLANS, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS, CONSULT THESE DRAWINGS FOR SLEEVES, DEPRESSIONS AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
6. ALL SPECIFIED FASTENERS MAY ONLY BE SUBSTITUTED IF APPROVED BY THE ENGINEER IN WRITING. THE INSTALLATION OF THE FASTENERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SIMPSON FASTENERS SPECIFIED MAY BE SUBSTITUTED WITH THE SAME QUANTITY AND EQUIVALENT STRENGTH PRODUCT. ALL BOLTS, NUTS, WASHERS, STRAPS AND FASTENERS INCLUDING NAILS, SHALL BE HOT MOPED DIPPED GALVANIZED OR STAINLESS STEEL. CONTINUOUS ANCHORAGE SHALL BE PROVIDED BETWEEN ALL TRUSSES, WALL SECTIONS, BEAMS, POSTS AND FOOTINGS WITH USE OF STRAPS AND CONNECTORS AS SPECIFIED HEREIN.
7. TREATED WOOD REQUIREMENTS:- ALL TREATED WOOD EXPOSED TO WEATHER SHALL BE PROTECTED, PRESSURE TREATED, OR NATURALLY RESISTANT TO DECAY. ALL WOOD TOUCHING MASONRY OR CONCRETE SHALL BE ISOLATED, OR PRESSURE TREATED.
8. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIE DOWNS.
9. CEILING DRYWALL INSTALLED WITHIN THE HOUSE TO TRUSSES SPACED 24" O.C. SHALL BE 5/8" DRYWALL OR 1/2" S'AG RESISTANT PER SEC. 702.3.5
10. LANAI CEILINGS & COVERED ENTRY CEILINGS 1X4 STRIPPING @ 16" O.C. FASTENED WITH 2-8d NAILS TO EACH TRUSS. 5/8" EXTERIOR GYP. BOARD CEILING FASTENED WITH 8d NAILS OR 1-5/8" DRYWALL SCREWS @ 6" O.C. EDGE AND FIELD.

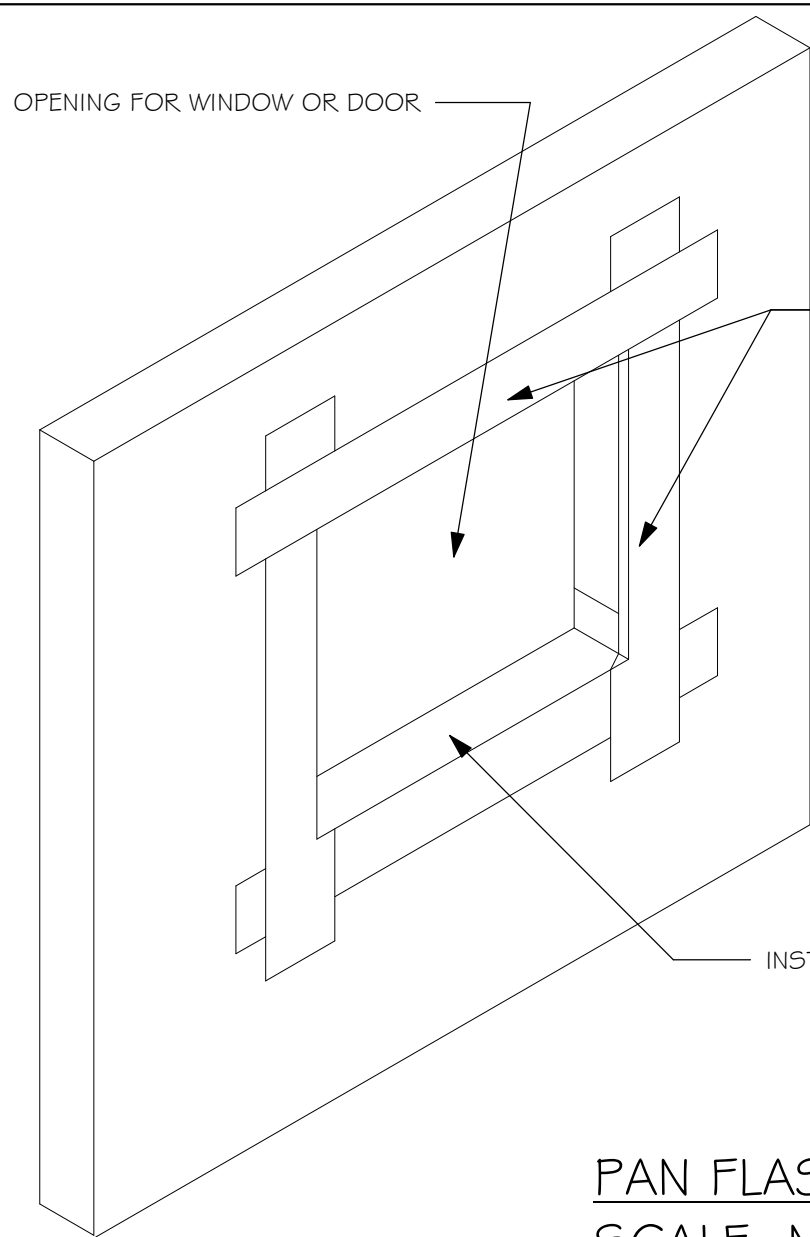
### DOOR AND WINDOW ANCHORAGE

ANCHORAGE REQUIREMENTS- ALL PASS AND SLIDING GLASS DOORS AND ALL WINDOW ASSEMBLIES SHALL BE ANCHORED TO THE MAIN WIND FORCE RESISTING SYSTEM IN A MANNER SPECIFIED BY THE PUBLISHED MANUFACTURER'S LITERATURE. THERE SHALL BE NO SUBSTITUTION OF ALTERNATE FASTENINGS UNLESS PROVIDED BY THE MANUFACTURER AND APPROVED BY THE BUILDING DESIGN ENGINEER.

**MASONRY OPENING**  
WHERE WINDOW FRAME IS DESIGN TO FASTEN WITH SCREWS THROUGH THE FRAME AND INTO THE MASONRY, THE BUCK MATERIAL IS SIMPLY A SPACER. THE BUCK MAY BE FASTENED WITH THE T NAILS OR ANY SUITABLE FASTENER TO TACK IT INTO POSITION PRIOR TO WINDOW INSTALLATION. FASTEN WINDOW FRAME PER MFR INSTRUCTIONS. A WINDOW FASTENER SHALL PENETRATE MASONRY BY 2 1/4" MIN.

WHERE WINDOW FRAME IS DESIGNED TO FASTEN ONLY TO THE WOOD BUCK (IE, FLANGED FRAME WITH WOOD SCREWS) THE BUCKS SHALL BE 2X WOOD WITH STRUCTURAL FASTENING TO THE MASONRY WITH 1/4 X 3 3/4 MASONRY SCREWS @ 24" OC AND 6" FROM EACH END.

**WOOD FRAMED OPENING-** ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO THE PUBLISHED MANUFACTURER'S LITERATURE OF THE ASSEMBLY BEING INSTALLED TO THE ROUGH SUBSTRATE OPENING. SHIMS SHALL BE MADE OF MATERIALS CAPABLE OF RESISTING THE APPLIED LOADS AND SHALL BE LOCATED NEAR EACH FRAME FASTENER TO MINIMIZE DISTORTION OF THE FRAME AS THE FASTENERS ARE TIGHTENED.



PAN FLASHING PER R703.4  
SCALE: N.T.S.

### GENERAL ROOF ASSEMBLY

**ROOF SHEATHING** FBCR TABLE R803.2.2 SHALL BE 1/2" APA RATED SHEATHING, EXPOSURE 1, SPAN RATING 40/20 OR BETTER. INSTALL PANELS WITH LONG DIMENSION PLACED PERPENDICULAR TO TRUSSES. A 1/8" SPACE BETWEEN ADJACENT SHEETS SHALL BE MAINTAINED. INSTALL "H" CLIPS AT UNSUPPORTED PANEL EDGES. FOR FASTENING, SEE STRUCTURAL.

**FLASHING**  
FLASHING SHALL BE ALUMINUM, ALUMINUM ZINC COATED STEEL 0.0179" THICK, 26 GAUGE AZ50 ALUM ZINC, OR GALVANIZED STEEL 0.0179" THICK, 26 GAUGE ZINC COATED G90. FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE ZIP SYSTEM ROOF SHEATHING MANUFACTURER'S PUBLISHED REQUIREMENTS. ALL FLASHING AND INSTALLATION SHALL CONFORM TO SECTION R905.2.8 (1 TO 5).

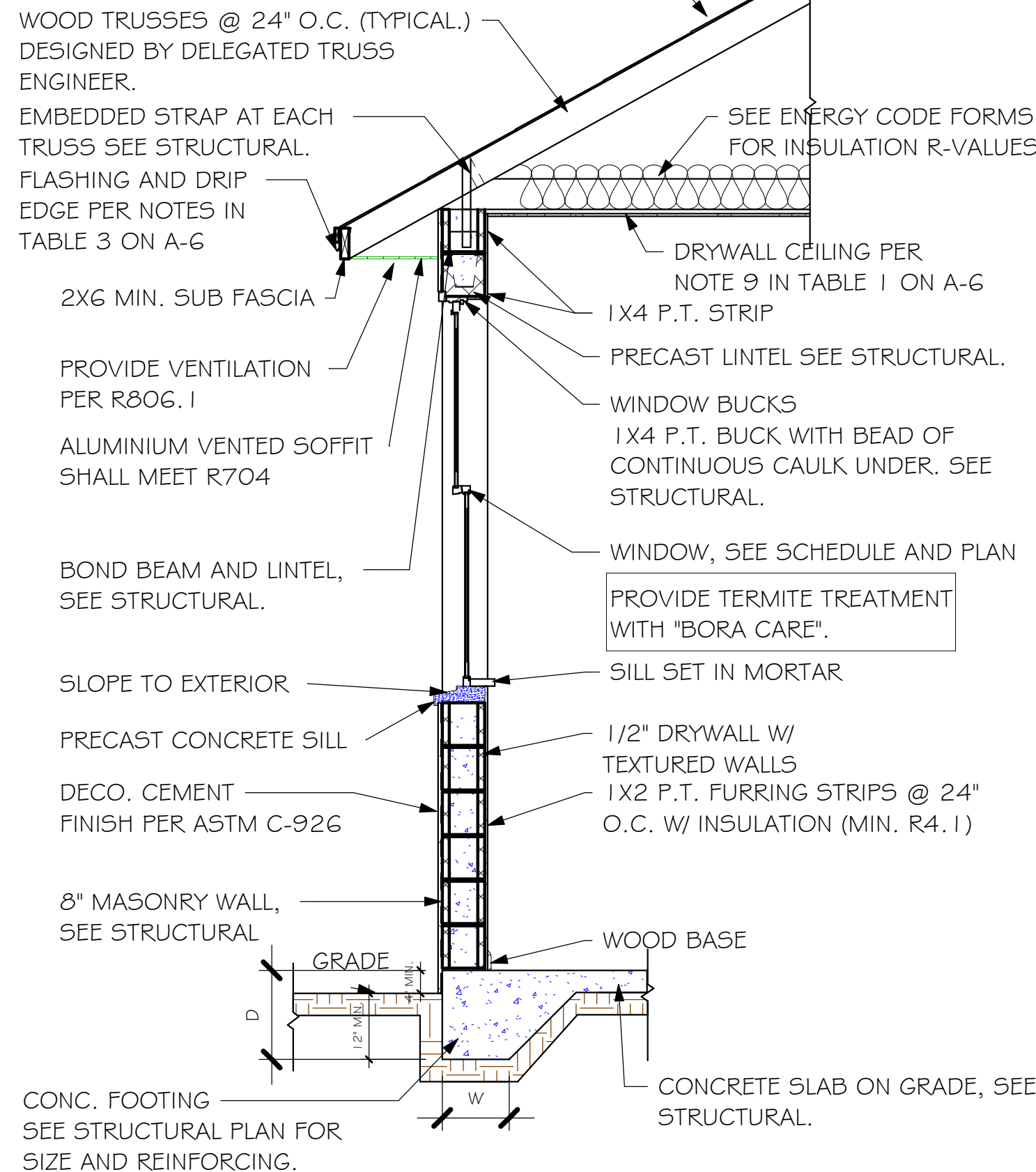
**D RIP EDGE**  
D RIP EDGE SHALL BE PROVIDED AT ALL EAVES AND GABLES OF SHINGLES ROOFS, LAPPED A MINIMUM OF 3" @ JOINTS. THE OUTSIDE EDGE SHALL EXTEND A MINIMUM OF 1/2" BELOW SHEATHING AND THE INSIDE EDGE SHALL EXTEND BACK A MINIMUM OF 2". D RIP EDGE SHALL BE FASTENED AT NO MORE THAN 4" CENTERS. THERE SHALL BE A MINIMUM OF 4" WIDTH OF ROOF CEMENT INSTALLED OVER THE D RIP EDGE FLANGE.

### ASPHALT SHINGLE ROOF SPEC'S

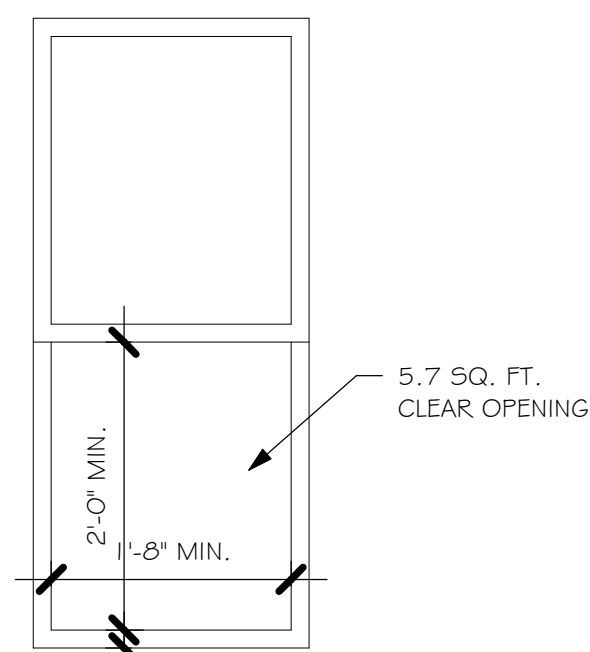
**SHINGLES**  
30# FELT SHALL BE INSTALLED UNDER ASPHALT SHINGLES. ALL ASPHALT SHINGLES SHALL HAVE SELF-SEALING STRIPS OR BE INTERLOCKING AND COMPLY WITH ASTM D 225 OR D 3462. FOR FASTENING, SEE STRUCTURAL. INSTALLATION SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS FOR INSTALLATION IN THE GIVEN FLORIDA WIND ZONE, AS DETERMINED BY ASTM D 3161.

ROOF SHEATHING SEE STRUCTURAL, AND PER NOTES IN TABLE 3 ON A-6

SHINGLE ROOF PER NOTE 4 ON A-6



TYPICAL WALL SECTION



**R310.2.1 MINIMUM OPENING AREA-** ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 m²).

**EXCEPTION-** GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (0.465 m²).

**R310.2.1 MINIMUM OPENING HEIGHT-** THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610mm).

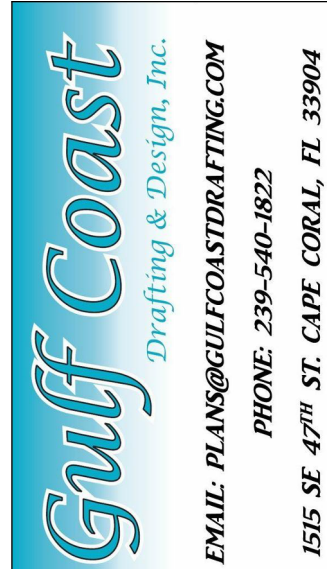
**R310.2.1 MINIMUM OPENING WIDTH-** THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508mm).

**R310.1.1 OPERATIONAL CONSTRAINTS-** EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

**R310.2.3 WINDOW WELLS-** THE MINIMUM HORIZONTAL AREA OF THE WINDOW WELL SHALL BE 9 SQUARE FEET (0.84 m²), WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES (914mm). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

MINIMUM EGRESS WINDOW DETAIL

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL FLORIDA BUILDING CODE 2020 - 7TH EDITION



LOT: 6	BLOCK: 1921
SUBDIVISION: GULF COVE SPOT LOTS	
ADDRESS: 12043 BACCHUS ROAD	
D.R.H. #: 579500189	

MODEL  
# 1499 A

DATE: 08/11/23

DRAWN BY: JSL

CHECKED BY: JWC

REVISED:

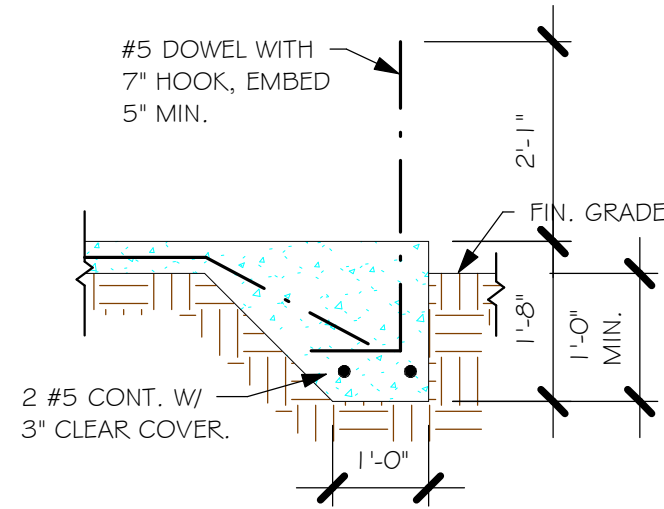
PLAN: SECTIONS

SCALE: As indicated

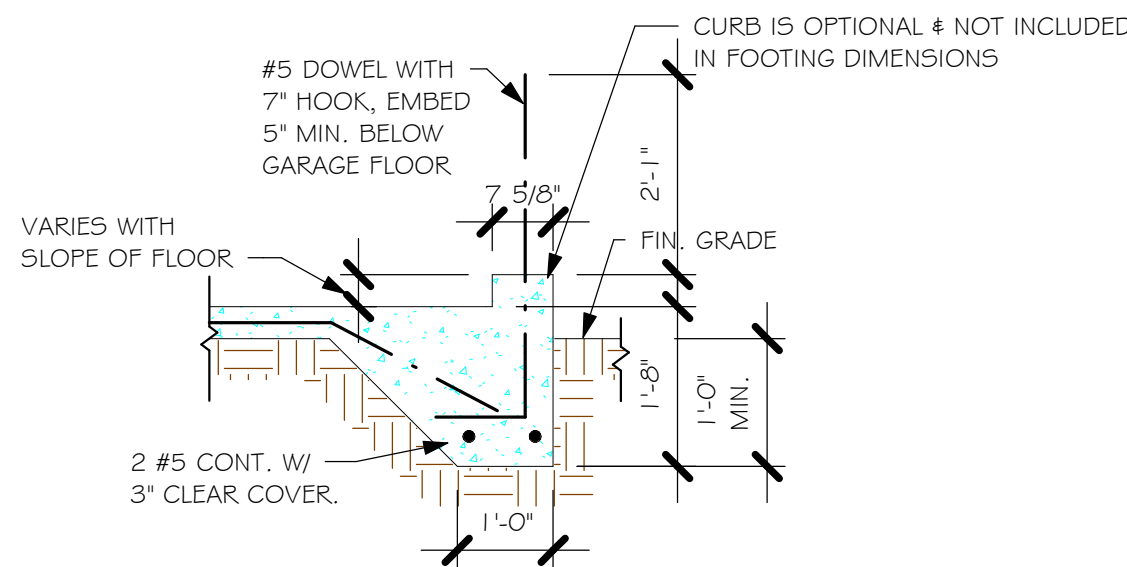
A-6



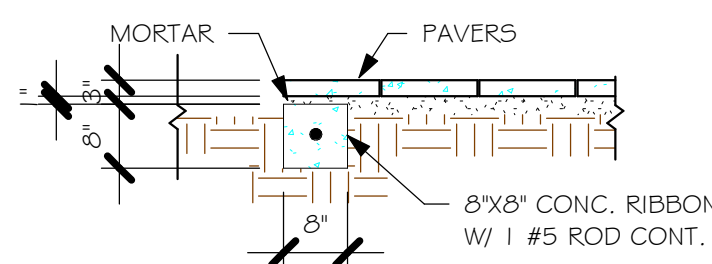
L:\O-New Data\1 - MASTER 2019\2019-BUILDERS\DR HORTON 2019\SUBDIVISIONS\GULF COVE SPOT LOTS\14790 LOT 6 BLK 1921 - 1499 ARREV\14790 1499 AR.vrt



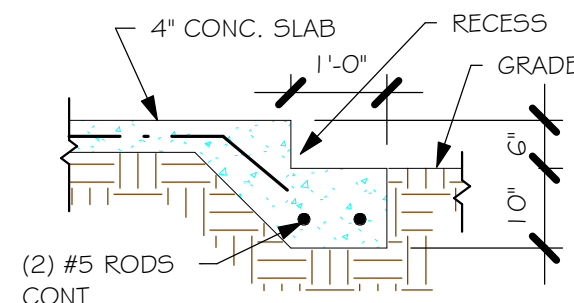
"F3" FOOTING  
1/2" = 1'-0"



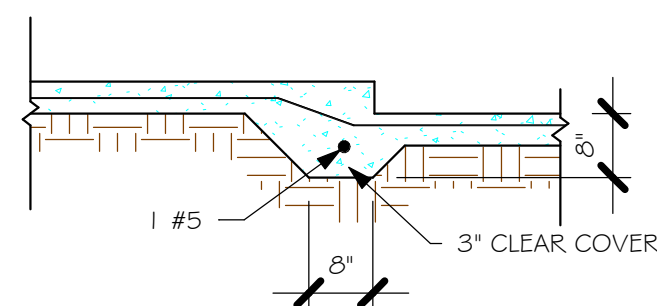
"F3" WITH CURB AT GARAGE  
1/2" = 1'-0"



"P" PAVERS DETAIL ENTRY/ LANAI  
1/2" = 1'-0"



GARAGE DOOR RECESS  
1/2" = 1'-0"



"F6A" STEP DOWN  
1/2" = 1'-0"

USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REIN.		REMARKS
					LONG WAY	SHORT WAY	
	A	2'-6"	2'-6"	1'-0"	3-#5	3-#5	-
	B	3'-0"	3'-0"	1'-0"	4-#5	4-#5	-
	C	3'-6"	3'-6"	1'-0"	4-#5	4-#5	-
	D	4'-0"	4'-0"	1'-2"	5-#5	5-#5	-
	E	5'-0"	5'-0"	1'-2"	6-#5	6-#5	-

USED	TYPE	LENGTH	WIDTH	DEPTH	BOTTOM REINFORCING	SHAPE
	F1	CONT.	1'-4"	0'-8"	2-#5	
	F2	CONT.	1'-8"	0'-10"	2-#5	
	F3	CONT.	1'-0"	1'-8"	2-#5	
	F4	CONT.	1'-4"	1'-8"	2-#5	
	F5	CONT.	1'-4"	1'-0"	2-#5	
	F6	CONT.	1'-4"	1'-0"	2-#5	
	F6A	CONT.	0'-8"	0'-8"	1-#5	
	TE	CONT.	0'-8"	0'-8"	1-#5	

PROVIDE CORNER BARS PER G/S-3

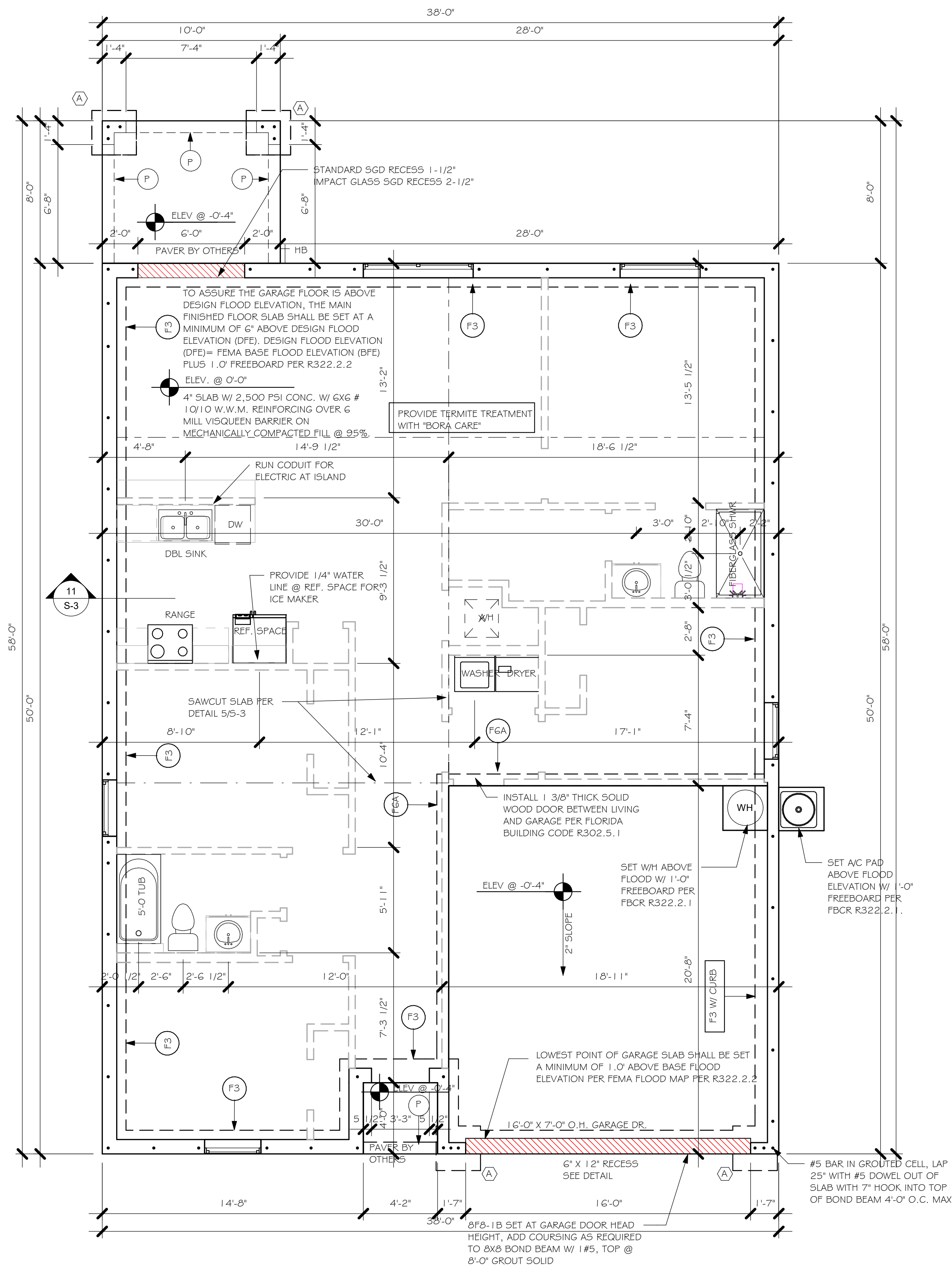
ADD CURB TO GARAGE, SEE DETAIL.

### FOUNDATION PLAN

SCALE: 3/16" = 1'-0"

PLAN NOTES:

- TOP OF GROUND FLOOR SLAB DATUM ELEVATION 0'-0".
- "F#" DENOTES CONTINUOUS WALL FOOTING TYPE PER SCHEDULE THIS SHEET.
- # DENOTES PAD FOOTING AT CONCENTRATED LOADS PER SCHEDULE THIS SHEET.
- PROVIDE #5 VERTICAL REINFORCING AT DOT LOCATIONS SHOWN ON PLAN FROM FOOTING TO BOND BEAM.
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY WALLS. SOME SLAB EDGES MAY EXTEND BEYOND FACE OF WALL.
- FOR DIMENSIONS OF ROUGH OPENINGS IN MASONRY WALLS, COORDINATE WITH WINDOW/ DOOR SUPPLIER.
- PROVIDE PRESSURE TREATED BUCKS AT WINDOWS/ DOORS PER DETAIL 7/S-3.



FOUNDATION  
1/4" = 1'-0"

DESIGN IN ACCORDANCE WITH THE RESIDENTIAL  
FLORIDA BUILDING CODE 2020 - 7TH EDITION



**Gulf Coast**  
Drafting & Design, Inc.  
EMAIL: PLANS@GULFCOASTDRAFTING.COM  
PHONE: 239-540-1822  
1515 SE 47th ST. CAPE CORAL, FL 33904

STRUCTURAL ENGINEER  
NO. 65698  
STATE OF FLORIDA  
PROFESSIONAL SEAL

LOT: 6  
BLOCK: 1921  
SUBDIVISION: GULF COVE SPOT LOTS  
ADDRESS: 12043 BACCHUS ROAD  
D.R.H. #: 579500189  
MODEL  
#1499 A  
GCD JOB # 14790

DATE: 08/11/23  
DRAWN BY: JSL  
CHECKED BY: JWC  
REVISED:  
PLAN: FOUNDATION PLAN  
SCALE: As indicated  
S-1



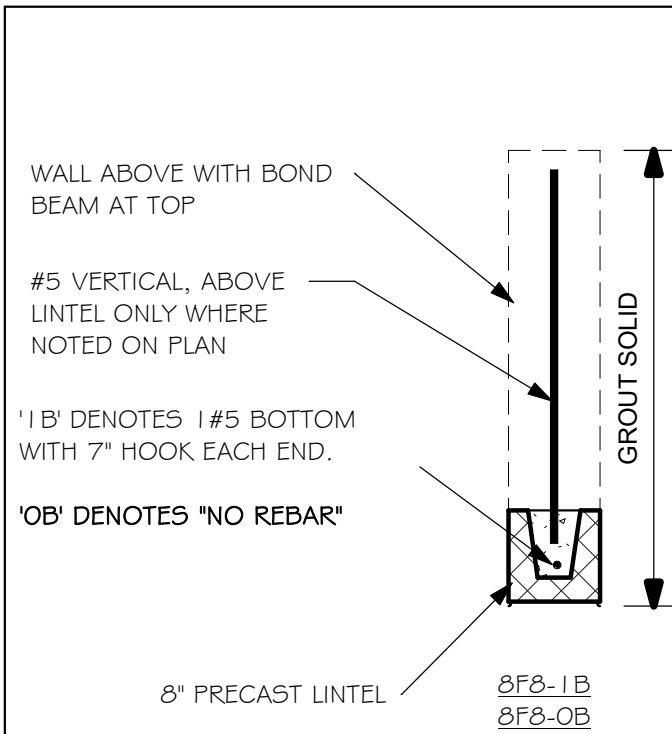
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TRUSS STRAPPING TO MASONRY			
	MAX TRUSS UPLIFT (LBS)	STRAP/ANCHOR Valid lengths x/w	FASTENER
INSTALL META 1 G AT ALL TRUSSES TO 1450 lb UPLIFT, FOR HIGHER UPLIFTS, SEE NOTES ON PLAN.	1450 (1 PLY)	(1) META 1 G/18/20	(8) 0.148x1-1/2", EMBED 4"
	1810 (1 PLY)	(1) META 1 G/20	(9) 0.148x1-1/2", EMBED 4"
	1875 (1 PLY)	(2) META 1 G/18/20	(10) 0.148x1-1/2", EMBED 4"
	1920 (1 PLY)	(2) META 1 G/20	(10) 0.148x1-1/2", EMBED 4"
	2120 (1 PLY)	(2) META 1 G/20	(10) 0.148x1-1/2", EMBED 4"
	1795 (2 OR 3 PLY)	(2) META 1 G/18/20	(14) 0.162x3-1/2", EMBED 4"
	2365 (2 OR 3 PLY)	(2) META 1 G/20	(12) 0.162x3-1/2", EMBED 4"
	3965 /DF /5P (2 PLY)	MGT	(22) 0.148x3" ATR, EPOXY 12"
	3000 /DF /5P (1 PLY 2x4)	HTT4	(18) 0.148x1-1/2", 5/8" ATR, EPOXY 12"
	4455 /DF /5P (1 PLY 2x6)	HTT4	(18) 5D#10x1-1/2", 5/8" ATR, EPOXY 12"
	4235 /DF /5P (2 PLY 2x4)	HTT4	(18) 0.162x2-1/2", 5/8" ATR, EPOXY 12"
	4555 /DF /5P (1 PLY 2x6)	HTT5	(26) 5D#10x1-1/2", 5/8" ATR, EPOXY 12"
	4670 /DF /5P (2 PLY 2x4)	HTT5	(26) 0.148x3", 5/8" ATR, EPOXY 12"
	5445 /DF /5P (2 PLY 2x4)	HTT5KT	(26) 5D#10x2-1/2", 5/8" ATR, EPOXY 18"
	10690 /DF /5P (2 PLY)	(1)HGT - 2	(16) 0.148x3", (2) 3/4" ATR, EPOXY 12"
	10790 /5P (3PLY)	(1)HGT - 3	(16) 0.148x3", (2) 3/4" ATR, EPOXY 12"

NOTES:

- PROVIDE A STRAP FROM THE ABOVE LIST AT EACH ROOF TRUSS BEARING POINT, BASED ON THE TRUSS UPLIFT VALUES IN THE SIGNED AND SEALED TRUSS DESIGN PACKAGE AND SUITABLE FOR THE GEOMETRY. EMBED STRAP ON CENTERLINE OF WALL.
- ANY OF THE VALID LENGTHS SHOWN MAY BE USED IN PLACE OF THE LENGTH SPECIFIED ON PLAN.
- CONNECTORS ARE SIMPSON STRONG-TIE. ALL CONNECTORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH SIMPSON PRINTED INSTRUCTIONS. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.
- WHERE EMBEDDED STRAPS ARE MISSING, OR MIS-LOCATED, INSTALL RETROFIT STRAP PER 10/5-3. PER UPLIFT IN TRUSS ENGINEERING.

SIMPSON CATALOG C-C- 2021

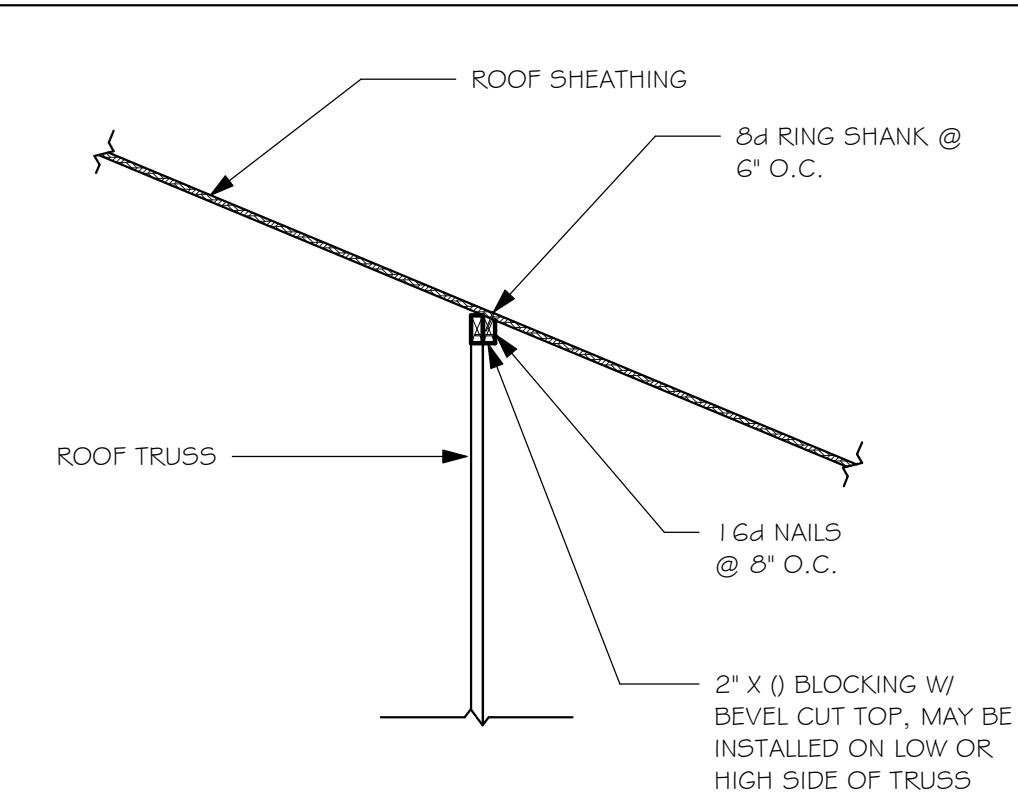


PRECAST LINTEL SCHEDULE

AT SWING DOORS, USE 2" RECESS STYLE LINTEL IF NEEDED FOR ROUGH OPENING.  
LINTELS BEAR 4" MIN. EACH END

PLAN NOTES:

- ROOF TRUSS BEARING 8'-0", SEE LEGEND.
- ROOF FRAMING SHALL BE WOOD TRUSSES DESIGNED BY A DELEGATED TRUSS ENGINEER PER DESIGN CRITERIA ON SHEET S-3.
- PROVIDE STRAPPING AT TRUSSES PER NOTES ON THIS SHEET.
- FOR NAILING OF ROOF AND FLOOR DECK, SEE 1 AND 2 ON S-3.
- 8F8-1B etc., DENOTES PRECAST LINTEL ABOVE DOOR/WINDOW OPENING PER SCHEDULE THIS SHEET.
- AT TRUSS BEARING, PROVIDE 8x8 MASONRY BOND BEAM W/ 1 #5 CONTINUOUS, SEE DETAIL 11/5-3.



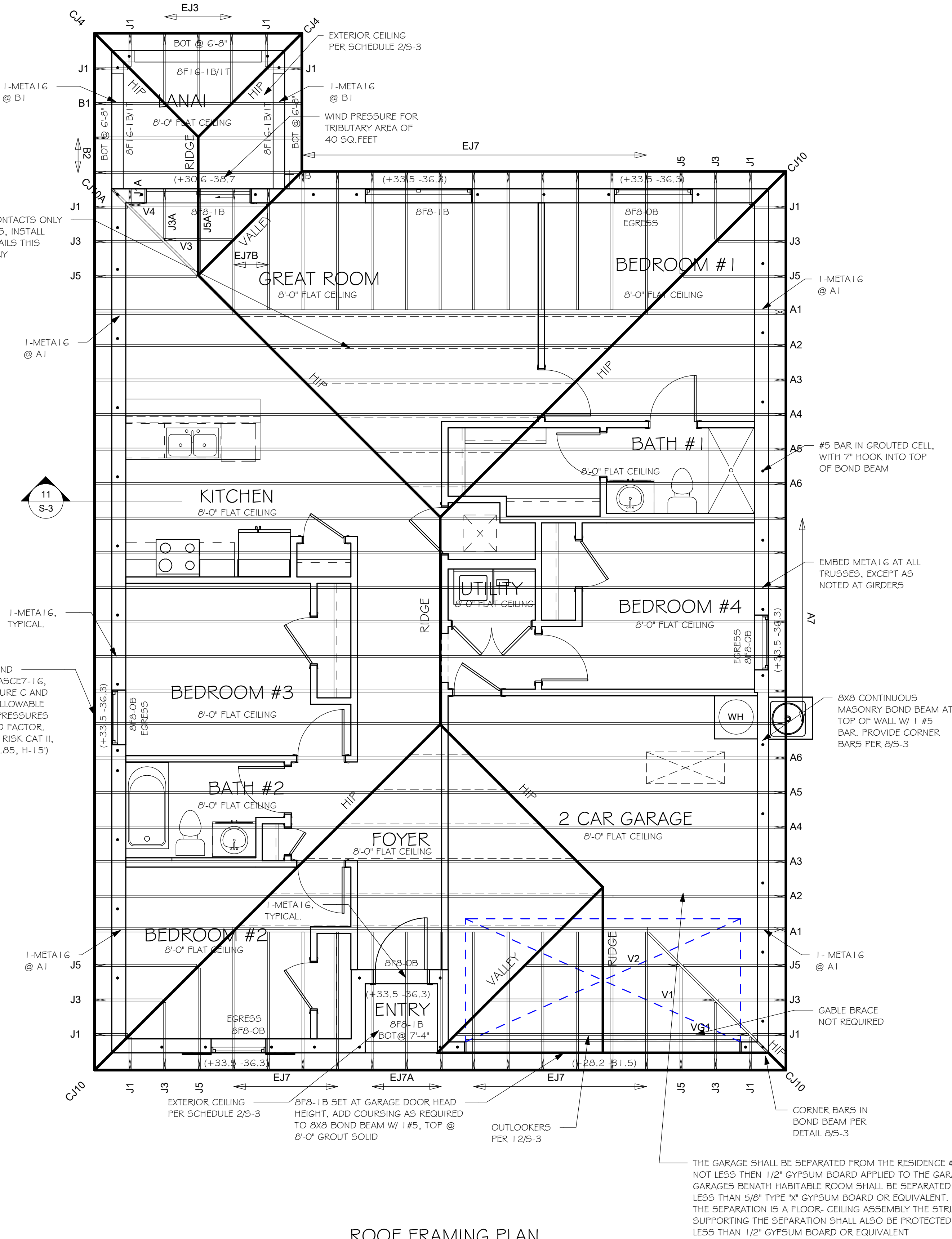
BEVELED BLOCKING DETAIL

BEARING HEIGHT

= BEARING @ 8'-0"

TRUSS BEARING CONDITIONS AND STRAPPING IS BASED ON TRUSS LAYOUT PREPARED BY SCOSTA JOB# DR1499L DATED: 11/30/20 REVISED: NONE

WHERE ROOF SHEATHING CONTACTS ONLY THE EDGE OF ROOF TRUSSES, INSTALL BEVELED BLOCKING PER DETAILS THIS SHEET (DR HORTON COMPANY REQUIREMENT)





NAIL TYPE (SECTION R803.2.3.1) FACIA BOARD  
19/32 SHEATHING

2 1/2" x 0.131" RING SHANK OR 3" x 0.120" RING SHANK (PER ASTM F1667 RSRS-03 & 04)
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FOR SCOSTA TRUSSES, MODEL 1499 ELEVATION A w/ LANAI, JOB # DR1499L, DATED: 11/30/20, REVISED: NONE